Monclova Township

4335 Albon Road, Monclova, Ohio 43542
TEL 419-865-7862 FAX 419-865-8481 www.monclovatwp.org

Legal Notice

Monclova Twp
Monday, January 12, 2026, 5:30 PM
Meeting Room, 4335 Albon Road

Monclova Twp Board of Zoning Appeals has scheduled a public hearing to consider adding area to existing Conditional Use (Section 4.2 of the Zoning Resolution). Site Location: 8605 Salisbury Rd; Road; Applicant: Redemption Church; Agent J. Cook, Mannik & Smith.

Text & map of this request is on file in the Zoning Office, 4335 Albon Rd.; Mon 12-4; Tues-Fri 8-4; call 419-865-7857; or visit *monclovatwp.org* under "Legal Notices" for file information.
By order of the Monclova Twp Board of Zoning Appeals

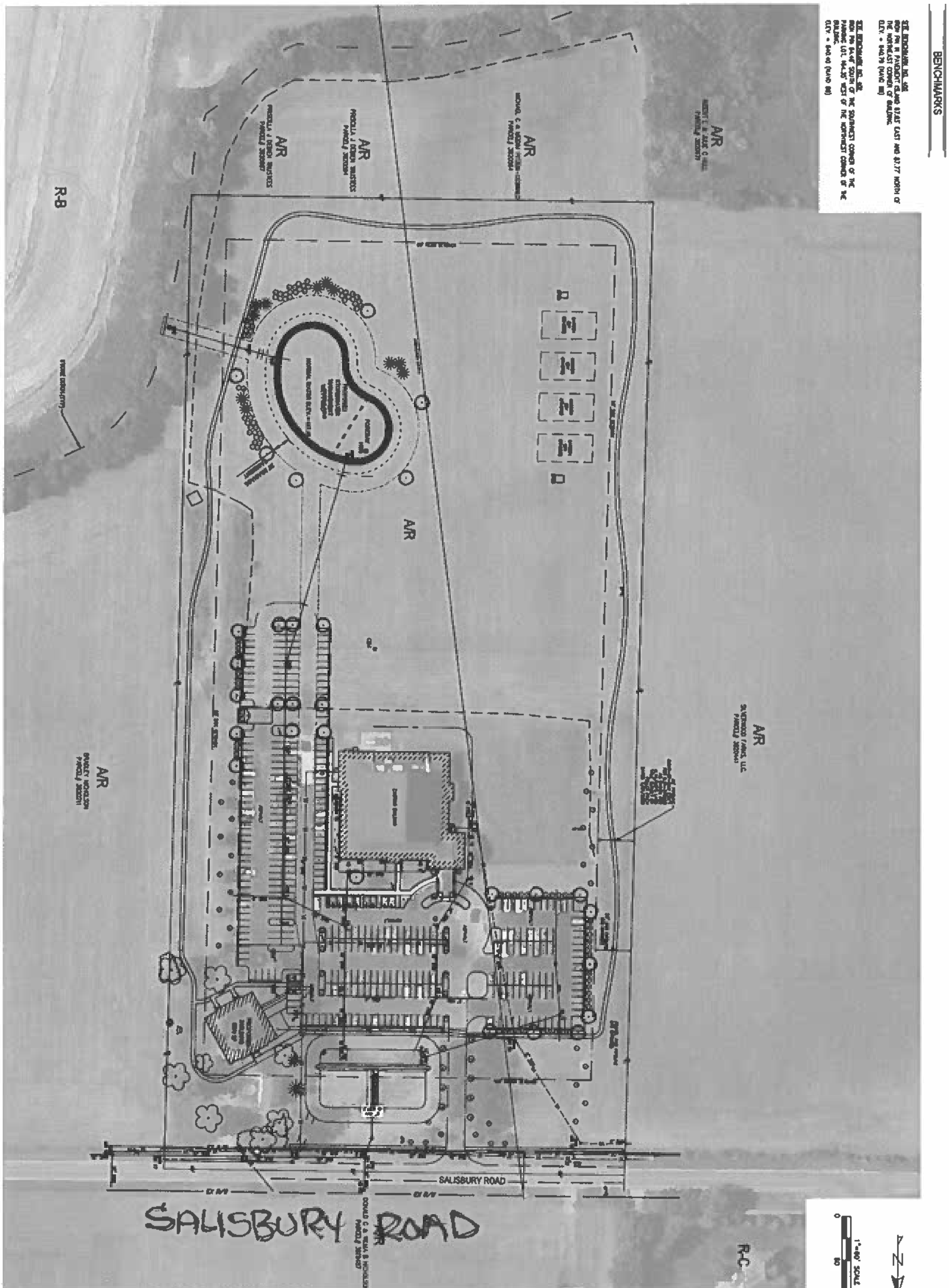
MONCLOVA TOWNSHIP

INTER-OFFICE

MEMO

To:	Board of Zoning Appeals
Cc:	Kathleen Kuns
From:	Eric Wagner
Date:	12/22/25
Re:	Request for a conditional use at 8605 Salisbury Rd.

Redemption Church recently purchased land adjoining their church property. After purchasing the property they tore down the existing house. They have combined the resulting vacant lot with their existing property. They are planning on building a 75x76 foot fellowship hall with a total square footage of 5570 square feet. They have provided a site plan as well as renderings and a floor plan for the building.



C100	AERIAL PLAN	REDEMPTION CHURCH SPECIAL FUNCTION ACCESSORY BUILDING 6605 SALISBURY ROAD MONCLOVA, OH 43542	PREPARED FOR REDEMPTION CHURCH 202 WEST MAIN STREET MASON, OH 45040	Mannik Smith GROUP

1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43537
TEL 419.891.2222
FAX 419.891.1595

PROJECT DATE	[illegible]
PROJECT NO	[illegible]
DRAWN BY	JEC
CHECKED BY	MAM

NO	DATE	BY	DESCRIPTION
1	[illegible]	JEC	ISSUED FOR PERMITS
2	[illegible]	JEC	MONCLOVA TOWNSHIP SUBMITTAL

December 4, 2025

Eric Wagner
Monclova Township Zoning Administrator
4335 Albon Road
Monclova, Ohio 43542

RE: Redemption Church
Special Function Accessory Building
Site Plan Review

Dear Mr. Wagner:

On behalf of Redemption Church, please accept the attached submittal for Site Plan Review. Redemption Church has been experiencing tremendous growth and is finding the need to have a space to use for special functions. This project proposes a new 5570 sf accessory building at their existing facility at 8605 Salisbury Road. This building is intended to be used for special functions (Weddings, showers, etc.) and is not intended to be utilized at the same time as the main church building on Sunday mornings.

Construction is anticipated to begin as soon as plan approvals are in place. Redemption Church looks forward to working with Monclova Township through the approval process in the upcoming months.

Sincerely,

Jeremey Cook
Project Manager

Contact Info:

Jeremey Cook
The Mannik & Smith Group, Inc.
1800 Indian Wood Circle
Maumee, Ohio 43537
419-891-2222 Ext. 2105
jcook@manniksmithgroup.com

Steve Whitlow
Redemption Church
8605 Salisbury Rd
Monclova, Ohio 43542
419-494-6744
steven@experienceredemption.com

A PARCEL OF LAND SITUATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST QUARTER OF SECTION 31, TOWN 2, OF THE UNITED STATES RESERVE OF 12 MILES SQUARE, AT THE FOOT OF THE RAPIDS OF THE MIAMI OF LAKE ERIE IN MONCLOVA TOWNSHIP, IN THE COUNTY OF LUCAS AND STATE OF OHIO.

FURTHER DESCRIBE AS:

COMMENCING AT A ONE INCH IRON PIN IN A MONUMENT BOX AT THE NORTHEAST CORNER OF SECTION 31;

THENCE NORTH 89°06'06" WEST 1264.26 FEET TO A ONE INCH IRON PIN FOUND IN A MONUMENT BOX, ALSO BEING THE EAST 1/16 CORNER OF SECTION 31 BEING THE TRUE POINT OF BEGINNING;

THENCE SOUTH 01°25'12" WEST 1341.03 FEET ALONG THE NORTH/SOUTH 1/16 LINE OF SECTION 31 TO A POINT PASSING A CONCRETE MONUMENT FOUND AT 31.65 FEET, ALSO PASSING A CAPPED IRON PIN FOUND (LEWANDOWSKI) AT 49.63 FEET TO A POINT;

THENCE NORTH 89°04'53" WEST 637.08 FEET TO A POINT ON THE WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 31;

THENCE NORTH 01°38'00" EAST 1341.25 FEET ALONG THE SAID WEST LINE TO A POINT;

THENCE SOUTH 89°03'59" EAST 632.08 TO THE TRUE POINT OF BEGINNING.

CONTAINING 19.537 ACRES OF LAND MORE OR LESS.

PARCEL ID NUMBER 3820501

SUBJECT TO ALL EASEMENTS & RESTRICTIONS OF RECORD, IF ANY.

THE BEARINGS CONTAINED HEREIN ARE BASED ON THE BEARING OF NORTH 89°06'06" WEST FOR THE CENTERLINE OF SALISBURY ROAD AS REFERENCED TO THE OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD83 (2011 ADJUSTMENT).

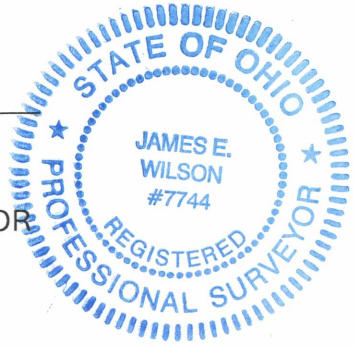
THIS DESCRIPTION WAS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY MANNIK AND SMITH GROUP INC. IN NOVEMBER OF 2025 UNDER THE DIRECT SUPERVISION OF JAMES E WILSON, P.S. 7744.

James E. Wilson

JAMES E WILSON, P.S.

LICENSED PROFFESSIONAL SURVEYOR

NO. 7744



12-04-25

DATE

MONCLOVA TOWNSHIP FIRE/RESCUE
Fire Prevention Bureau
4395 Albon Road Monclova, Ohio 43542
Office: 419-865-9423 Fax:419-865-8481
www.monclovatwp.org

Fire Chief
Matthew P. Homik

26 December 2025

Mr. Eric Wagner
Monclova Township Zoning Administrator
4335 Albon Road
Monclova, Ohio 43542

REF: Redemption Church Special Function Accessory Building, 8605 Salisbury Road, Monclova, Ohio

Mr. Wagner,

I have reviewed the documentation submitted for the BZA Conditional Use. After reviewing, the Fire Prevention Bureau has no objections to this site review.

Sincerely,

Ryan O. Grant

Ryan Grant, FSI, FPI, CFPE
Fire Prevention Officer
Monclova Township Fire Department

Cc: Matthew Homik, Fire Chief

SITE PLAN REVIEW

FOR

REDEMPTION CHURCH SPECIAL FUNCTION ACCESSORY BUILDING

MONCLOVA TOWNSHIP
LUCAS COUNTY, OHIO
8605 SALISBURY ROAD, MONCLOVA, OHIO 43542

BENCHMARKS

SITE BENCHMARK NO. 400
IRON PIN IN PAVEMENT ISLAND 67.83' EAST AND 87.77' NORTH OF THE NORTHEAST CORNER OF BUILDING.
ELEV. = 640.79 (NAVD 88)

SITE BENCHMARK NO. 401
IRON PIN 94.48' SOUTH OF THE SOUTHWEST CORNER OF THE PARKING LOT, 164.35' WEST OF THE NORTHWEST CORNER OF THE BUILDING.
ELEV. = 640.40 (NAVD 88)

INDEX OF SHEETS

LOCATION MAP

LEGEND

DESCRIPTION	EXISTING	PROPOSED
IRON PIN SET	I.P.S.	
CARPENTERS NAIL FOUND	NAIL	
IRON PIPE FOUND	P.F.	
MONUMENT BOX FOUND	M	
IRON PIN FOUND	I.P.F.	
MAG NAIL SET	M.N.S.	
STORM SEWER MANHOLE		MH
CATCH BASIN		CB
SANITARY SEWER MANHOLE		
WATER SERVICE MANHOLE	W	
WATER GATE VALVE	W	
FIRE HYDRANT	FH	
GUIDE POST		GP
GAS METER		
GAS LINE MARKER	G	
GAS LINE VENT	G	
ELECTRIC METER		
POWER POLE		
ELECTRIC PEDESTAL		
LIGHT POLE		
GUY WIRE		
GUY WIRE ANCHOR		
TELEPHONE POLE		
SIGNAL POLE		
MONITOR WELL	MW	
SIGN		
MAILBOX	MB	
SOIL BORING		
POST		
DECIDUOUS TREE		
BUILDING		
GUARD RAIL		
TREE LINE		
WATER LINE	W	
GAS LINE	G	
STORM LINE	ST	ST ST
SANITARY LINE	SA	
FIBER OPTIC		
PROPERTY LINE		
RIGHT-OF-WAY	RW	
FENCE	X X	
CONTOURS	600	600

UNDERGROUND UTILITIES
TWO WORKING DAYS
BEFORE YOU DIG
CALL 1-800-362-2764 (TOLL FREE)
OHIO UTILITIES PROTECTION SERVICE
NON-MEMBERS
MUST BE CALLED DIRECTLY

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

THE 2023 CONSTRUCTION MATERIAL STANDARD SPECIFICATIONS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS LISTED IN THE PROPOSAL, SHALL GOVERN THIS IMPROVEMENT.

CIVIL ENGINEER
THE MANNIK & SMITH GROUP
1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43537
TEL: 419-891-2222

DEVELOPER
REDEMPTION CITY CHURCH
8605 SALISBURY RD.
MONCLOVA, OH 43542
TEL: 419-601-4147

PROJECT CONTACT PERSON:
STEVE WITLOW
STEVE@EXPERIENCEREDEMPTION.COM

LEGAL DESCRIPTION

TOWN 2
UNITED STATES RESERVE
PART OF THE EAST ½ OF THE NORTWEST ¼
OF THE NORTHEAST ¼ OF SECTION 31
MONCLOVA TOWNSHIP, LUCAS COUNTY, OHIO

REDEMPTION CHURCH	DATE
LUCAS COUNTY ENGINEER'S OFFICE	DATE
LUCAS COUNTY SANITARY ENGINEER	DATE
MONCLOVA TOWNSHIP	DATE
MONCLOVA TOWNSHIP FIRE	DATE

NOTES:

1. **A PERMIT IS REQUIRED FROM THE LUCAS COUNTY ENGINEER'S OFFICE FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY ON SALISBURY ROAD**
2. **A MINIMUM OF FIVE (5) CALENDAR DAYS PRIOR TO COMMENCING CLEARING OR DEMOLITION WORK, THE LUCAS COUNTY ENGINEERS OFFICE SHALL BE CONTACTED AT (419) 213-2860 TO ENSURE PROPER SEDIMENT AND EROSION CONTROL PRACTICES ARE IN PLACE BEFORE WORK BEGINS.**

STATE OF OHIO
MARK JOHN MATHE
E-80111
REGISTERED PROFESSIONAL ENGINEER

BY: Mark J. Mathe
MARK J. MATHE, PE

DATE: 12/04/2025

NO.	DATE	BY	DESCRIPTION
1	10/30/2025	JEC	ISSUED FOR PERMITS
2	12/04/2025	JEC	MONCLOVA TOWNSHIP SUBMITTAL

1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43337
TEL: 419.891.2222
FAX: 419.891.1595

PROJECT DATE: 06/11/2025
PROJECT NO: 2500745
DRAWN BY: JEC
CHECKED BY: MJM

TECHNICAL SKILL. CREATIVE SPIRIT.
Mannik Smith GROUP
www.MannikSmithGroup.com

PREPARED FOR:
REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH
SPECIAL FUNCTION
ACCESSORY BUILDING
8605 SALISBURY ROAD
MONCLOVA, OH 43542

TITLE SHEET

C000

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GENERAL CONSTRUCTION NOTES:

1. ALL MATERIALS AND CONSTRUCTION WILL BE IN ACCORDANCE WITH THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION (ODOT) DATED JANUARY 1, 2023. IN ADDITION, ALL WORK WILL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL AND STATE STANDARDS AND REGULATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR THE PROJECT AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
7. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER, LOCAL MUNICIPALITY AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.
8. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
9. THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER AND LOCAL MUNICIPALITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS IN ACCORDANCE WITH ODOT REGULATIONS AND/OR AS REQUIRED OR DIRECTED BY THE SITE ENGINEER OR CONSTRUCTION MANAGER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM LOCAL MUNICIPALITY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
11. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
12. REFER TO DETAIL SHEETS FOR EROSION AND SEDIMENT CONTROL, STORM DRAINAGE, UTILITY, PAVING, CURBING, SIGNAGE, AND RETAINING WALL DETAILS AS APPLICABLE.
13. ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL SUBMIT A JOB-MIX FORMULA FOR THE BITUMINOUS PAVEMENT TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO THE PLACEMENT OF BITUMINOUS PAVEMENTS.
14. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER
15. THE OWNER AT ITS DISCRETION RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
16. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND LOCAL UTILITY COMPANIES AS REQUIRED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
17. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 AT LEAST 72 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
18. ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, EQUIPMENT, OR MATERIALS SHALL BE REPAIRED, OR CORRECTED BY APPROVED METHODS AS DIRECTED BY AND AT NO ADDITIONAL COST TO THE OWNER.
19. ALL DISTURBANCE INCURRED TO TOWNSHIP PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWNSHIP.
20. THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED 48 HOURS (2 WORKING DAYS) PRIOR TO THE PRE CONSTRUCTION MEETING. AREAS BEYOND THE LIMITS OF CLEARING AND GRADING SHALL NOT BE DISTURBED INCLUDING THE STOCKPILE OF ANY MATERIALS OR CONSTRUCTION TRAFFIC.
21. WHEREVER UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED THAT ARE NOT INDICATED ON THE PLANS, THE WORK SHALL BE DISCONTINUED UNTIL THE PROJECT ENGINEER AND OWNER APPROVE THE METHOD AND MATERIALS TO BE INCORPORATED INTO THE WORK.
22. ALL ROAD SURFACES, EASEMENTS, OR RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED ACCORDING TO THE TOWNSHIP REQUIREMENTS.
23. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OR ITS REPRESENTATIVE IF SUSPECTED HAZARDOUS MATERIAL OR ANY OTHER MATERIAL THAT MAY CREATE A HEALTH RISK IS DISCOVERED ON SITE.
24. ANY TRAFFIC CONTROL REQUESTED OR REQUIRED BY THE CONTRACTOR WILL BE PROVIDED BY THE CONTRACTOR AT NO COST TO THE OWNER.
25. IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY, OR AS REQUIRED DURING THE WORK DAY.
26. THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT, THE EXISTING RIGHT-OF-WAYS CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER.
27. WHERE CONFLICT ARISES BETWEEN ALL SPECIFICATIONS (BOOK OR PLAN BASED) INCLUDING TOWNSHIP REQUIREMENTS, THE MORE CONSERVATIVE SPECIFICATION SHALL PREVAIL.
28. FINAL CLEANUP: THE CONTRACTOR SHALL CLEAN-UP ALL DEBRIS AND MATERIALS RESULTING FROM CONSTRUCTION AND SHALL RESTORE ALL SURFACES, STRUCTURES, DITCHES AND PROPERTY TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AND ALL APPLICABLE GOVERNMENTAL AND REGULATORY AGENCIES.

DEMOLITION NOTES:

1. EXISTING CONDITIONS AS DEPICTED ON ON THESE PLANS ARE ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ENCOUNTERED ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER AND OWNER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
4. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING, AND/OR ABATEMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
5. ALL DEMOLISHED MATERIALS SHALL BE TAKEN FROM THE SITE IMMEDIATELY (UNLESS OTHERWISE NOTED) AND DISPOSED OFF-SITE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND ORDINANCES. NO BURNING OF ANY MATERIALS WILL BE ALLOWED ON OR OFF SITE.
6. MATERIALS NOTED ON THE PLANS TO BE SALVAGED TO OWNER SHALL BE STORED IN AREAS INDICATED ON THE PLANS.
7. USE SUITABLE METHODS TO LIMIT DUST AND DIRT TO ADJACENT STRUCTURES OR PROPERTY. CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO EXISTING CONDITIONS PRIOR TO THE START OF THE DEMOLITION WORK.
8. THE CONTRACTOR SHALL PROTECT TREES, LANDSCAPING, SITE IMPROVEMENTS, AND OTHER ITEMS NOT SCHEDULED FOR CLEARING, OR THAT MIGHT BE DAMAGED BY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ANY ITEMS THAT ARE DAMAGED.
9. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY EROSION, POLLUTION, AND DUST CONTROL MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT. REFERENCE ATTACHED EROSION & SEDIMENTATION CONTROL PLANS AND REPORT.
10. ALL UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION SHALL REMAIN INTACT. THE CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO EXISTING UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION AT HIS SOLE EXPENSE.
11. CONTRACTOR SHALL PERFORM ALL CLEARING, GRUBBING, AND TREE REMOVAL NECESSARY TO PERFORM THE WORK INDICATED HEREIN. THAT CONTRACTOR SHALL LIMIT LAND DISTURBANCE TO ONLY THAT REQUIRED TO COMPLETE THE PROPOSED IMPROVEMENTS.
12. ALL WORK WITHIN RIGHT OF WAY TO INCLUDE TRAFFIC CONTROL IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND PER ALL TOWNSHIP REQUIREMENTS. ROAD MUST REMAIN OPEN AT ALL TIMES. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC PLAN AND SUBMIT TO BOARDMAN TOWNSHIP FOR APPROVAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO COORDINATE ANY NECESSARY LANE CLOSURES WITH BOARDMAN TOWNSHIP.
13. CONTRACTOR TO COORDINATE TEMPORARY UTILITY OUTAGES WITH APPLICABLE UTILITY COMPANY AND TOWNSHIP AND NOTIFY NEIGHBORING EFFECTED OWNERS NO LESS THAN 72 HOURS PRIOR TO PLANNED OUTAGE.

LAYOUT AND PAVING NOTES:

1. ALL SITE DIMENSIONS ARE REFERENCED TO THE EDGE OF PAVING UNLESS OTHERWISE NOTED.
2. ASPHALT SURFACE COURSE SHALL BE LAID WITH THE DIRECTION OF TRAFFIC FLOW IN ALL DRIVE LANES WITHIN PARKING FIELDS.
3. DO NOT PLACE ASPHALT PAVEMENT MIX ON FROZEN OR WET SURFACES, OR WHEN PRECIPITATION IS OCCURRING.
4. ALL PAVEMENT MARKINGS, SIGNS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL SIGNS SHALL BE CONSTRUCTED OF FLAT SHEET ALUMINUM IN ACCORDANCE WITH STATE HIGHWAY SPECIFICATIONS. STEEL SIGN POSTS SHALL BE USED AND CONFORM TO ASTM A36 OR ASTM A441 AND SHOULD BE GALVANIZED IN ACCORDANCE WITH AASHTO M111.
5. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS. PAVEMENT MARKINGS SHALL BE APPLIED PER MANUFACTURER RECOMMENDATIONS. APPLY PAINT TO CLEAN, DRY SURFACES TO YIELD SHARP DEFINITION OF EDGES. AIR TEMPERATURE 50^F MINIMUM.
6. PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS AND SHALL BE PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS.
7. DIRECTIONAL TRAFFIC ARROWS SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
8. A MINIMUM CLEARANCE OF 2 FEET SHALL BE MAINTAINED BETWEEN THE EDGE OF PAVEMENT AND ANY PART OF A LIGHT POLE OR TRAFFIC SIGN.
9. CONTRACTOR SHALL SAW-CUT IN A NEAT, STRAIGHT LINE FOR SMOOTH TRANSITIONS AT TIE-INS TO EXISTING EDGES OF PAVEMENT AND AT COLD JOINTS OF RECENTLY PAVED PAVEMENT.
10. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
11. CONTRACTOR SHALL SAWCUT AND TRANSITION TO EXISTING PAVEMENT TO ENSURE POSITIVE DRAINAGE AT 1% MINIMUM SLOPE.
12. ALL CONCRETE SHALL BE 6% (+/-1½%) AIR ENTRAINED, 3/4" AGGREGATE AND CONFORM TO A 28 DAY STRENGTH OF 4,000 PSI MINIMUM AND SHALL HAVE A MAXIMUM W/C OF 0.50. ALL CONCRETE SHALL BE MADE WITH TYPE I OR TYPE II CEMENT.
13. ALL SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH. VERTICAL FACES SHALL BE FORMED.
14. BASE AND ASPHALT THICKNESS SPECIFIED ARE THE MINIMUM REQUIRED.
15. CONTRACTOR TO INSTALL ALL UTILITY PIPING, SEWERS, CONDUIT PRIOR TO PAVING OPERATIONS.

GENERAL GRADING & DRAINAGE NOTES:

1. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
2. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
3. THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL PARKING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
4. THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
5. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE AT 1% MINIMUM SLOPE TO CATCH BASINS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
6. SPOT ELEVATIONS SHOWN DEPICT THE PROPOSED PAVEMENT OR GROUND SURFACE.
7. IT IS THE CONTRACTORS OBLIGATION AND RESPONSIBILITY TO CONFIRM/CONCUR WITH THE EXISTING GRADES SHOWN HEREIN. THE CONTRACTOR MUST CONFIRM ALL EXISTING GRADES PRIOR TO ANY ALL/EXCAVATION.
8. THE CONTRACTOR MUST DOCUMENT EXISTING GRADE DISPUTES BY PROVISION OF A TOPOGRAPHIC SURVEY BY A STATE OF OHIO REGISTERED PROFESSIONAL SURVEYOR, PRIOR TO ANY EARTH DISTURBING ACTIVITIES. IN THE ABSENCE OF THE PROVISION OF TOPOGRAPHIC SURVEY BY THE CONTRACTOR, THE GRADES SHOWN HEREON WILL BE THE "TOPOGRAPHY OF RECORD" FOR ANY AND ALL SOIL VOLUME DISPUTES.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL IMPORT/EXPORT NECESSARY TO ACHIEVE THE PROPOSED GRADES.
10. ALL PROPOSED SLOPES 3:1 OR STEEPER AND ALL EARTHEN DRAINAGE WAYS SHALL RECEIVE JUTE OR EXCELSIOR MATTING AS PER ODOT 671 TYPE F.
11. ALL EXCAVATION UNDER OR NEAR EXISTING OR FUTURE PAVEMENT (INCLUDING SIDEWALKS), SUBJECT TO SETTLEMENT, WILL BE BACK FILLED WITH PREMIUM BACKFILL AS DEFINED HEREIN. AT QUESTIONABLE AREAS THE DECISION OF THE OF THE ENGINEER, OR HIS REPRESENTATIVE, WILL PREVAIL.

OHIO EPA NOTES:

1. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
2. A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT, CLEAR) SHALL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY/STORM SEWERS.
3. AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) SHALL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY/STORM SEWERS AT ALL CROSSINGS.

GENERAL UTILITY NOTES:

1. PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO ENSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 AT LEAST 72 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
4. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
5. RELOCATION OF ANY UTILITY COMPANY FACILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY.
6. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
7. THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
8. UTILITY CONDUIT PIPE SHALL BE SCHEDULE 80 PVC AND/OR AS REQUIRED BY THE LOCAL UTILITY COMPANY. SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN SERVICES. MINIMUM COVER SHALL BE 36" ON ELECTRIC CONDUITS AND 24" ON TELEPHONE AND CABLE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HAND HOLES AS REQUIRED.
9. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNICIPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
10. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
11. THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, SIDEWALKS, LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
12. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES TO THE CONSTRUCTION MANAGER AND LOCAL GOVERNING AGENCIES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
13. IN THE EVENT OF CONFLICT OF ANY REQUIREMENTS OR PROVISIONS OF THE WORK INDICATED HEREON, THE SITE ENGINEER SHALL BE NOTIFIED FOR A DETERMINATION OF THE PLAN REQUIREMENTS AND INTENT THEREOF.
14. ALL UTILITIES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH TOWNSHIP STANDARDS AND REGULATIONS. THE TOWNSHIP ENGINEERING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE FOR SCHEDULING OF AN INSPECTOR.
15. PROPOSED ELEVATIONS SHOWN SHALL NOT BE CHANGED WITHOUT APPROVAL OF THE TOWNSHIP ENGINEERING DEPARTMENT AND THE CONSTRUCTION MANAGER.
16. TRAFFIC SHALL BE MAINTAINED ON ALL ADJOINING STREETS AT ALL TIMES. TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD).
17. CONTRACTOR TO INSTALL SHORING AND/OR TEMPORARY STRUCTURES TO PROVIDE SUPPORT TO ANY AND ALL EXISTING AFFECTED UTILITIES PER UTILITY PROVIDER'S MINIMUM STANDARDS.
18. MANHOLE SECTION AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.

STORM

1. ALL STORM SEWERS, INLET BASINS AND MANHOLES SHALL BE CLEANED PRIOR TO ACCEPTANCE.
2. ALL STORM SEWER PIPES SHALL BE HDPE OR PVC UNLESS STATED OTHERWISE ON THE PLANS.
   - 2.1. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER PIPE SHALL BE ADS N-12 WT IB AS MANUFACTURED BY ADS, INC. HDPE PIPE SHALL HAVE A SMOOTH INTERIOR AND CORRUGATED EXTERIOR. 4-INCH THROUGH 10-INCH PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M252, TYPE S AND 12-INCH THROUGH 36-INCH PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH WATER-TIGHT INTEGRAL BELL AND GASKETED SPIGOT CONNECTIONS MEETING THE REQUIREMENTS OF ASTM F2306 AND D3212. GASKETS SHALL CONSIST OF AN ELASTOMERIC RUBBER MATERIAL MEETING ASTM F477. GASKETS SHALL BE INSTALLED ON THE CONNECTIONS BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER.
   - 2.2. POLY VINYL CHLORIDE (PVC) PIPE FOR STORM SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC PIPE SHALL CONFORM TO ASTM D3034 SDR35 WITH COMPRESSION JOINTS AND APPROPRIATE FITTINGS. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL; ASTM D2321 AND MANUFACTURER'S RECOMMENDED PROCEDURE.
   - 2.3. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.

UTILITY OWNERSHIP

AT&T
130 N. ERIE STREET, ROOM 714
TOLEDO, OHIO 43624
(419) 245-5004

TOLEDO EDISON
MS: HLOC-2332
6099 ANGOLA ROAD
HOLLAND, OHIO 43528
(419) 249-5440

LUCAS COUNTY SANITARY ENGINEER
1111 S. MCCORD ROAD
HOLLAND, OH 43528
(419) 213-2926

LUCAS COUNTY ENGINEER
1049 S. MCCORD ROAD
HOLLAND, OH 43528
(419) 213-2860

BUCKEYE BROADBAND
2700 OREGON ROAD
NORTHWOOD, OHIO 43619
(419) 724-3713

OHIO GAS COMPANY
13630 AIRPORT HIGHWAY
SWANTON, OHIO 43558
(800) 331-2176

ANR PIPELINE
CONTACT: TODD FLORY
(419) 438-0208

KINDER MORGAN-UTOPIA
1001 LOUSIANA STREET, SUITE 1000
HOUSTON, TEXAS 77002
1-800-495-0653

NO.	DATE	BY	DESCRIPTION
1	10/30/2025	JEC	ISSUED FOR PERMITS
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1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43337
TEL: 419 891 2222
FAX: 419 891 1595

PROJECT DATE: 06/11/2025
PROJECT NO: 2500745
DRAWN BY: JEC
CHECKED BY: MJM

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
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PREPARED FOR:
REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH
SPECIAL FUNCTION ACCESSORY BUILDING
8605 SALISBURY ROAD
MONCLOVA, OH 43542

GENERAL NOTES

C010

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BENCHMARKS

SITE BENCHMARK NO. 400
IRON PIN IN PAVEMENT ISLAND 67.83' EAST AND 87.77' NORTH OF THE NORTHEAST CORNER OF BUILDING.
ELEV. = 640.79 (NAVD 88)

SITE BENCHMARK NO. 401
IRON PIN 94.48' SOUTH OF THE SOUTHWEST CORNER OF THE PARKING LOT, 164.35' WEST OF THE NORTHWEST CORNER OF THE BUILDING.
ELEV. = 640.40 (NAVD 88)

1"=60' SCALE
0 60 120

A/R
SILVERWOOD FARMS, LLC.
PARCEL# 3820441

A/R
RIBERT E & JULIE C HULL
PARCEL# 3820671

A/R
MICHAEL C & HEIDIM PITZEN-OSSWALD
PARCEL# 3820564

A/R
PRISCILLA J DEBIEN TRUSTEES
PARCEL# 3820594

A/R
PRISCILLA J DEBIEN TRUSTEES
PARCEL# 3820687

A/R
DONALD G & WILMA B NICHOLSON
PARCEL# 3819487

A/R
BRADLEY NICHOLSON
PARCEL# 3820211

R-C

R-B

50' PIPELINE RIGHT-OF-WAY ESM'T PER D.R.-370033 AS SHOWN PER ALTA/NSPS LAND TITLE SURVEY BY FELLER FINCH DATED 7/21/2020

50' SIDE SETBACK

60' REAR SETBACK

GARDEN (BY OTHERS)

SHED

20" ANR PIPELINE (AS MARKED)

ABAND. ANR PIPELINE (AS MARKED)

100' FRONT SETBACK

EXISTING BUILDING

PROPOSED STORMWATER MANAGEMENT WET POND

NORMAL WATER ELEV. = 637.25

FOREBAY

21' DRAINAGE EASEMENT

PROPOSED BUILDING 5570 SF

ASPHALT

SALISBURY ROAD

EX R/W

STONE DITCH (TYP)

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AERIAL PLAN

C100

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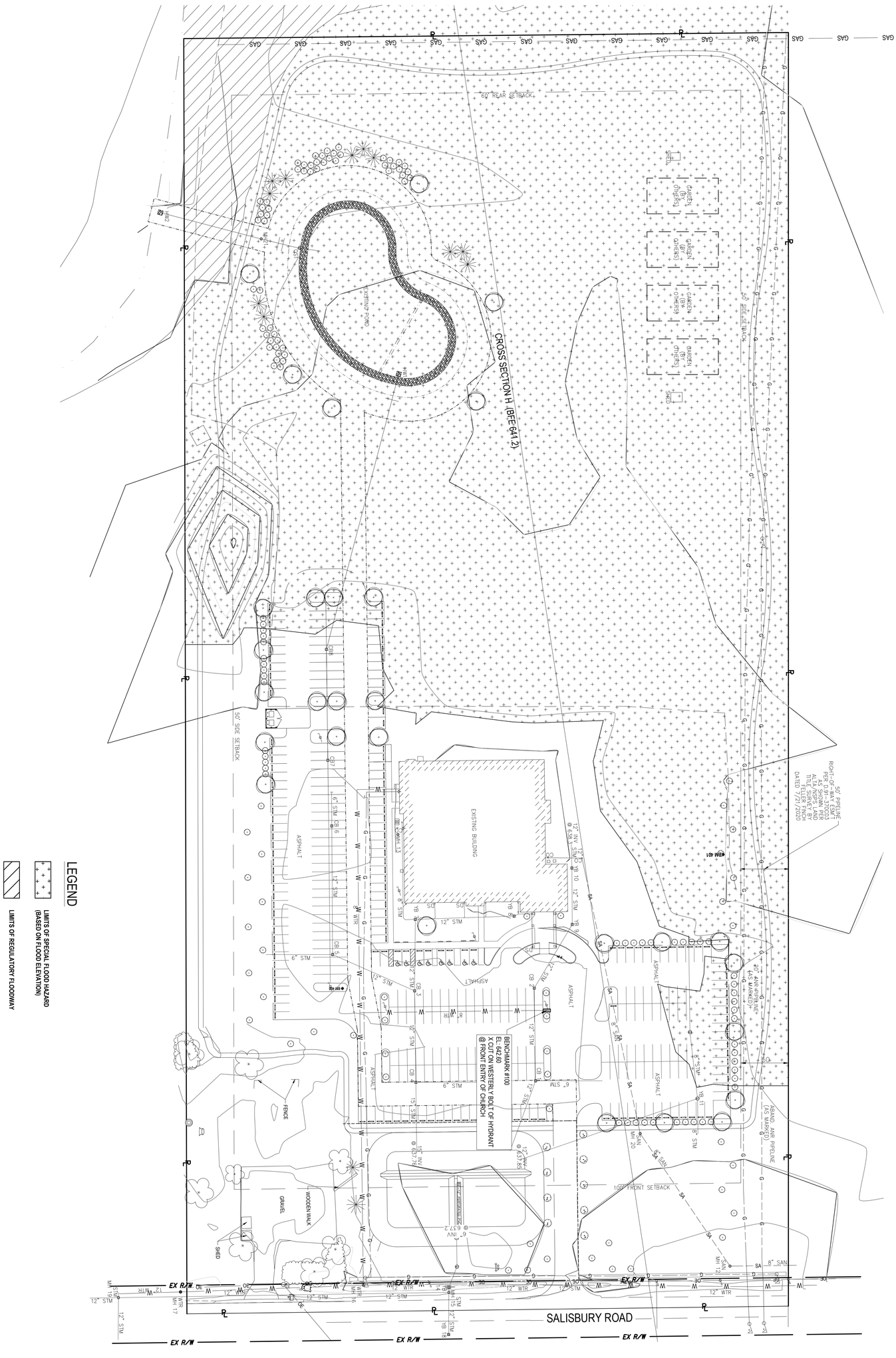

LEGEND

LIMITS OF REGULATORY FLOODWAY

LIMITS OF SPECIAL FLOOR HAZARD (BASED ON FLOOD ELEVATION)

1"=50' SCALE

0 50 100

N

C110

EXISTING CONDITIONS

REDEMPTION CHURCH SPECIAL FUNCTION ACCESSORY BUILDING

8605 SALISBURY ROAD
MONCLOVA, OH 43542

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REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

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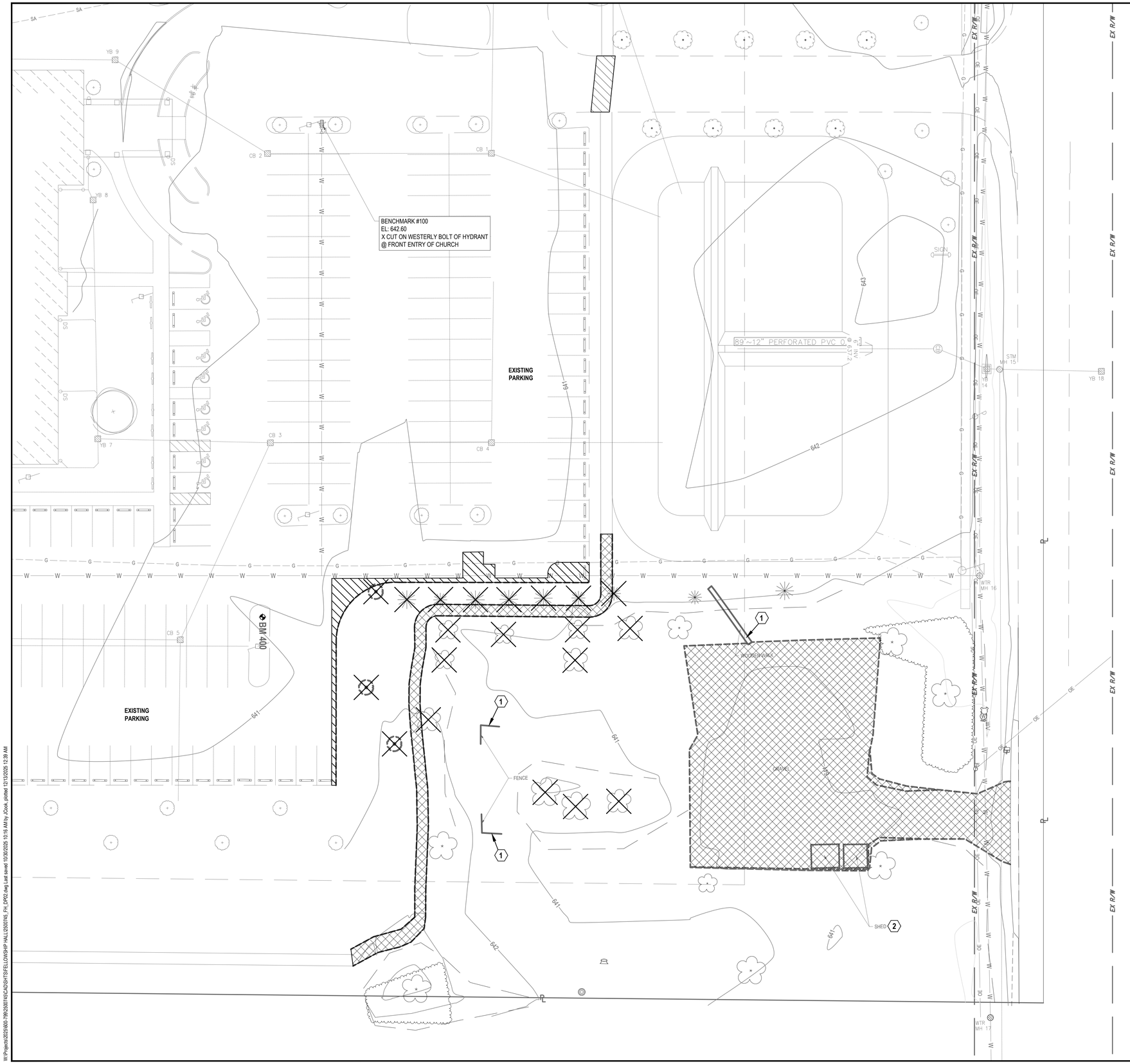

1"=20' SCALE

0 20 40

REMOVAL LEGEND

- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED
- TREE TO BE REMOVED

REMOVAL NOTES

1.) ALL REMOVALS NECESSARY TO ACCOMPLISH NEW WORK ARE CONSIDERED PART OF THE CONTRACT AND INCLUDED IN ITS BIDDING, WHETHER SPECIFIED, SHOWN ON THE DRAWING OR NOT. A CAREFUL INSPECTION OF THE PREMISES PRIOR TO BIDDING SHALL BE MADE BY EACH BIDDER.

2.) REMOVE ALL TOPSOIL FROM AREAS OF NEW CONSTRUCTION. STOCKPILE EXCESS TOPSOIL AND EXCESS EXCAVATION AS DIRECTED BY THE OWNER. PROVIDE EROSION CONTROL PER STATE AND LOCAL REQUIREMENTS. SEE SWPPP PLAN.

3.) REMOVE ALL WASTE MATERIALS, BUILDING DEBRIS, ETC. FROM THE SITE IN ACCORDANCE WITH LOCAL AUTHORITIES.

4.) THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AS NECESSARY FOR NEW CONSTRUCTION AND REMOVALS.

5.) THE CONTRACTOR AT ALL TIMES SHALL FOLLOW ALL STATE AND LOCAL REQUIREMENTS DURING CONSTRUCTION OF THIS PROJECT. SPECIAL CARE SHALL BE TAKEN DURING ALL TRENCHING OPERATIONS, SHEETING AND BRACING, CRIBBING, ETC. MUST BE INSTALLED AS REQUIRED TO PROVIDE MAXIMUM SAFETY TO THE CONTRACTOR'S WORKERS IN FULL COMPLIANCE WITH OSHA REGULATIONS.

6.) ALL CONSTRUCTION SHALL BE CONDUCTED SUCH THAT THERE WILL BE MINIMAL INTERFERENCE WITH STREETS, WALKS, CROSS ACCESS DRIVES, AND ADJACENT PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF TRAFFIC. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, CROSS ACCESS DRIVES OR USED FACILITIES WITHOUT THE PERMISSION FROM LOCAL AGENCIES OR THE PROPERTY OWNER.

7.) PROTECT EXISTING UTILITIES AND STRUCTURES TO REMAIN AS NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING/NEW CONSTRUCTION RESULTING FROM OR CAUSED BY NEW CONSTRUCTION OR DEMOLITION.

8.) COORDINATE WITH ARCHITECTURAL, STRUCTURAL, PLUMBING AND ELECTRICAL DRAWINGS FOR REMOVALS AND NEW CONSTRUCTION.

9.) CLEAN SAW CUTS SHALL BE MADE AT THE EDGE OF ALL PAVEMENT REMOVALS.

10.) ALL EXISTING UTILTIES TO BE REMOVED THAT CROSS THE PROPERTY LINE SHALL BE CAPPED 5 FEET PAST THE PROPERTY LINE.

REMOVALS

SITE REMOVALS

1. EXIST. FENCE TO BE REMOVED
2. EXIST. SHED TO BE RELOCATED
3. EXIST. WOODEN WALK TO BE REMOVED

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TECHNICAL SKILL. CREATIVE SPIRIT.

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REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH SPECIAL FUNCTION ACCESSORY BUILDING

8606 SALISBURY ROAD
MONCLOVA, OH 43542

ENLARGED DEMOLITION PLAN

C150

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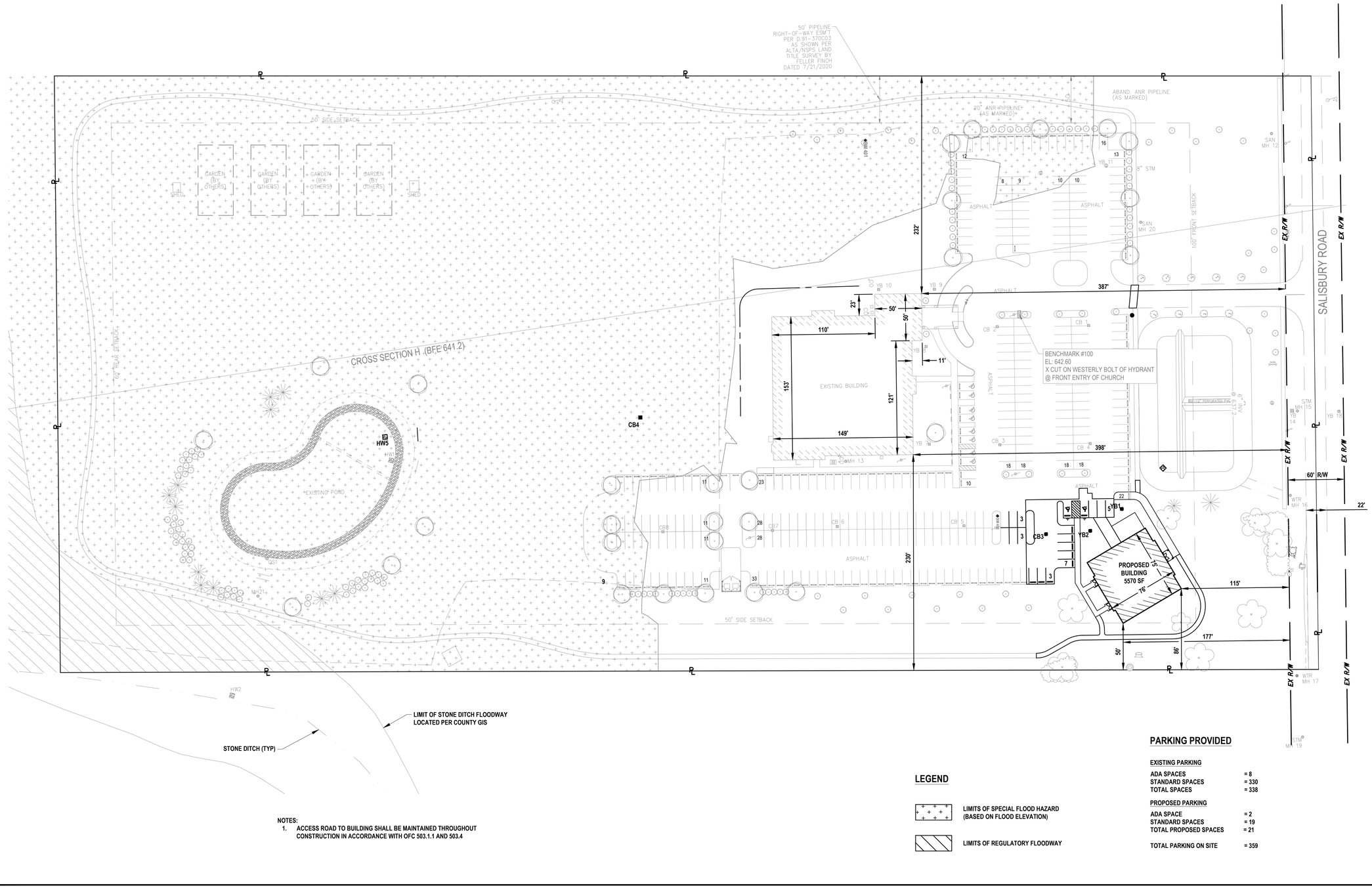

NOTES:
1. ACCESS ROAD TO BUILDING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH OFC 503.1.1 AND 503.4

LEGEND

LIMITS OF SPECIAL FLOOD HAZARD (BASED ON FLOOD ELEVATION)

LIMITS OF REGULATORY FLOODWAY

PARKING PROVIDED

EXISTING PARKING	
ADA SPACES	= 8
STANDARD SPACES	= 330
TOTAL SPACES	= 338
PROPOSED PARKING	
ADA SPACE	= 2
STANDARD SPACES	= 19
TOTAL PROPOSED SPACES	= 21
TOTAL PARKING ON SITE	= 359

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MAUMEE, OH 43337
TEL: 419.891.2222
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MONCLOVA, OH 43542

OVERALL SITE PLAN

C200

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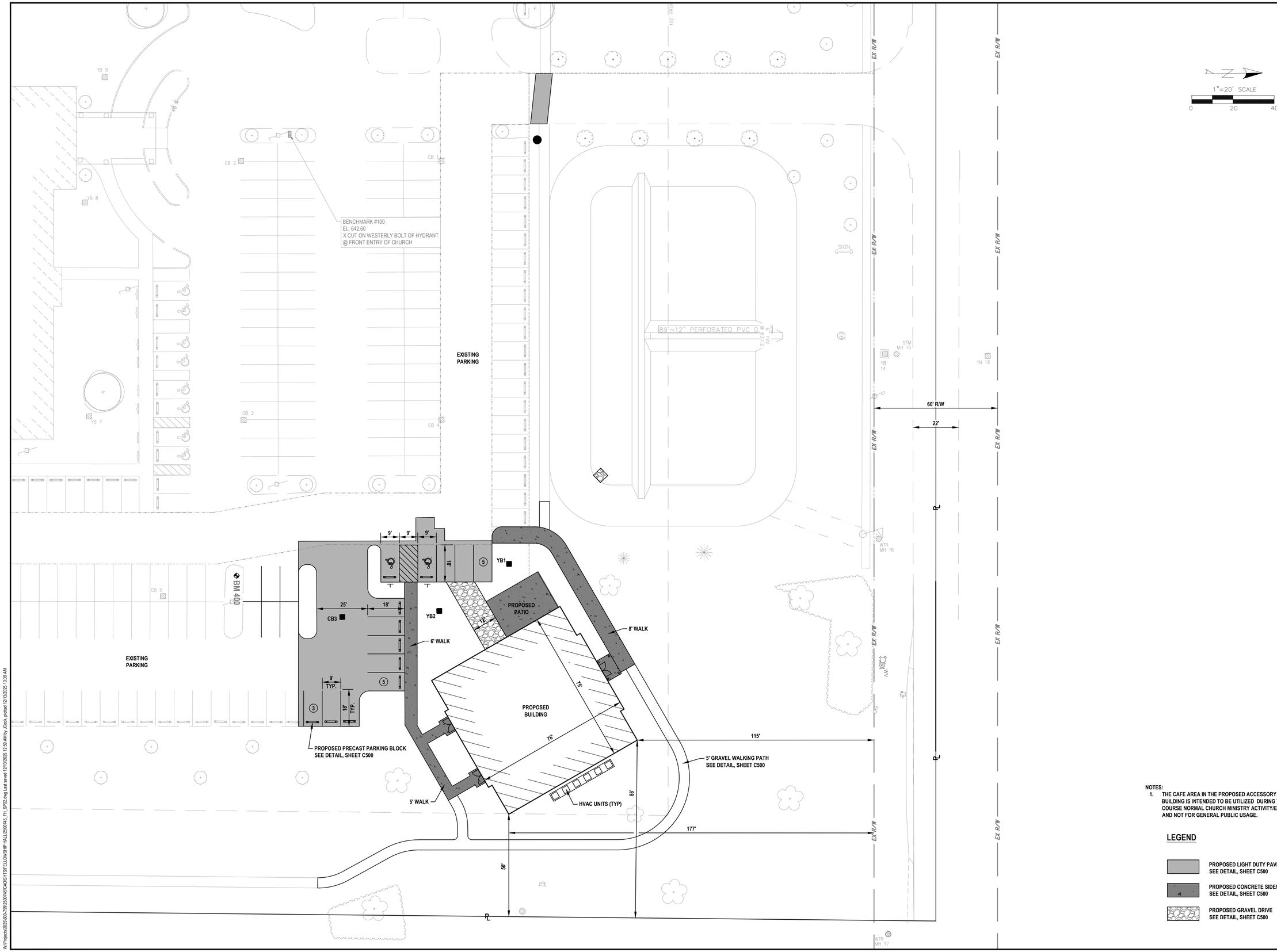

NOTES:
1. THE CAFE AREA IN THE PROPOSED ACCESSORY BUILDING IS INTENDED TO BE UTILIZED DURING THE COURSE NORMAL CHURCH MINISTRY ACTIVITY/EVENTS AND NOT FOR GENERAL PUBLIC USAGE.

LEGEND

- PROPOSED LIGHT DUTY PAVEMENT SEE DETAIL, SHEET C500
- PROPOSED CONCRETE SIDEWALK SEE DETAIL, SHEET C500
- PROPOSED GRAVEL DRIVE SEE DETAIL, SHEET C500

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MONCLOVA, OH 43542

ENLARGED SITE PLAN

C210

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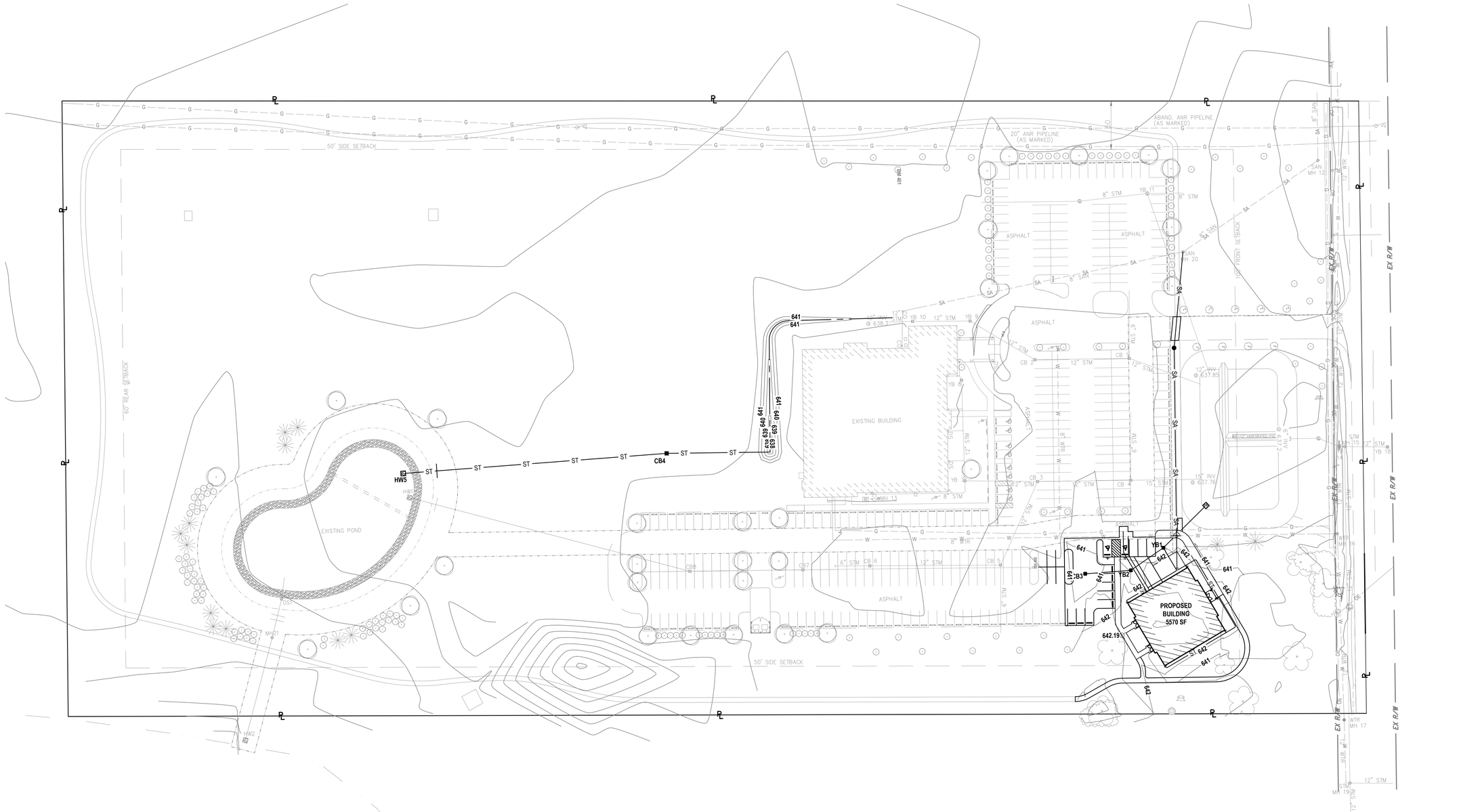

NOTE:

1. THE APPROVED SITE GRADING AND DRAINAGE MAY NOT BE CHANGED WITHOUT THE AUTHORIZATION OF THE LUCAS COUNTY ENGINEERS OFFICE.
2. A SITE GRADING AND DRAINAGE INSPECTION PERMIT SHALL BE OBTAINED BY THE DEVELOPER, OR HIS REPRESENTATIVE, A MINIMUM OF FIVE (5) WORKING DAYS PRIOR TO FINAL GRADING AND SIDEWALK CONSTRUCTION WORK. APPLICATIONS FOR SAID PERMIT MAY BE OBTAINED AT THE OFFICE OF THE LUCAS COUNTY ENGINEER.
3. IF CONSTRUCTION FOR THE PHASE 2 BUILDING EXPANSION HAS BEGUN PRIOR TO FINALIZING THE ACCESSORY BUILDING, REGRADING OF THE EXISTING SWALE IS NOT NECESSARY. STORM PIPING SHOULD BE INSTALLED AS SHOWN ON THESE PLANS AND CAPPED FOR EXTENSION AS PART OF THE NEXT PHASE.

GRADING LEGEND

■ CB	CATCH BASIN
XXX.XX	PROPOSED ELEVATION
XXX.XXME	MATCH EXISTING ELEVATION
1.0%	PROPOSED FLOW ARROW
RIM	RIM ELEVATION OF CASTING
100	PR CONTOUR
100	EX CONTOUR

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MASON, OH 45040

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8605 SALISBURY ROAD
MONCLOVA, OH 43542

OVERALL GRADING PLAN

C300

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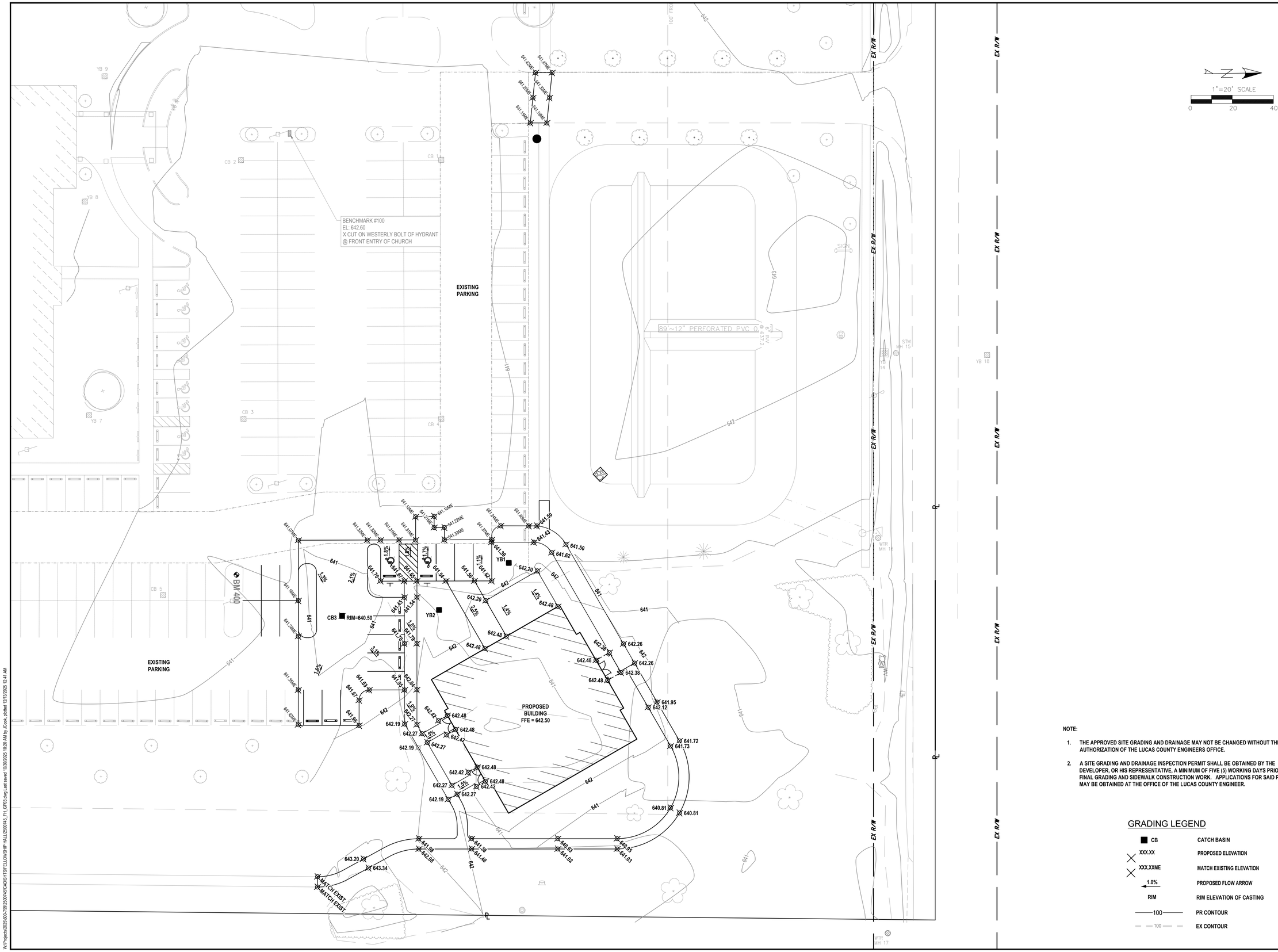

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GRADING LEGEND

■ CB	CATCH BASIN
XXX.XX	PROPOSED ELEVATION
XXX.XXME	MATCH EXISTING ELEVATION
1.0%	PROPOSED FLOW ARROW
RIM	RIM ELEVATION OF CASTING
100	PR CONTOUR
100	EX CONTOUR

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PREPARED FOR:
REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH SPECIAL FUNCTION ACCESSORY BUILDING

8605 SALISBURY ROAD
MONCLOVA, OH 43542

ENLARGED GRADING PLAN

C310

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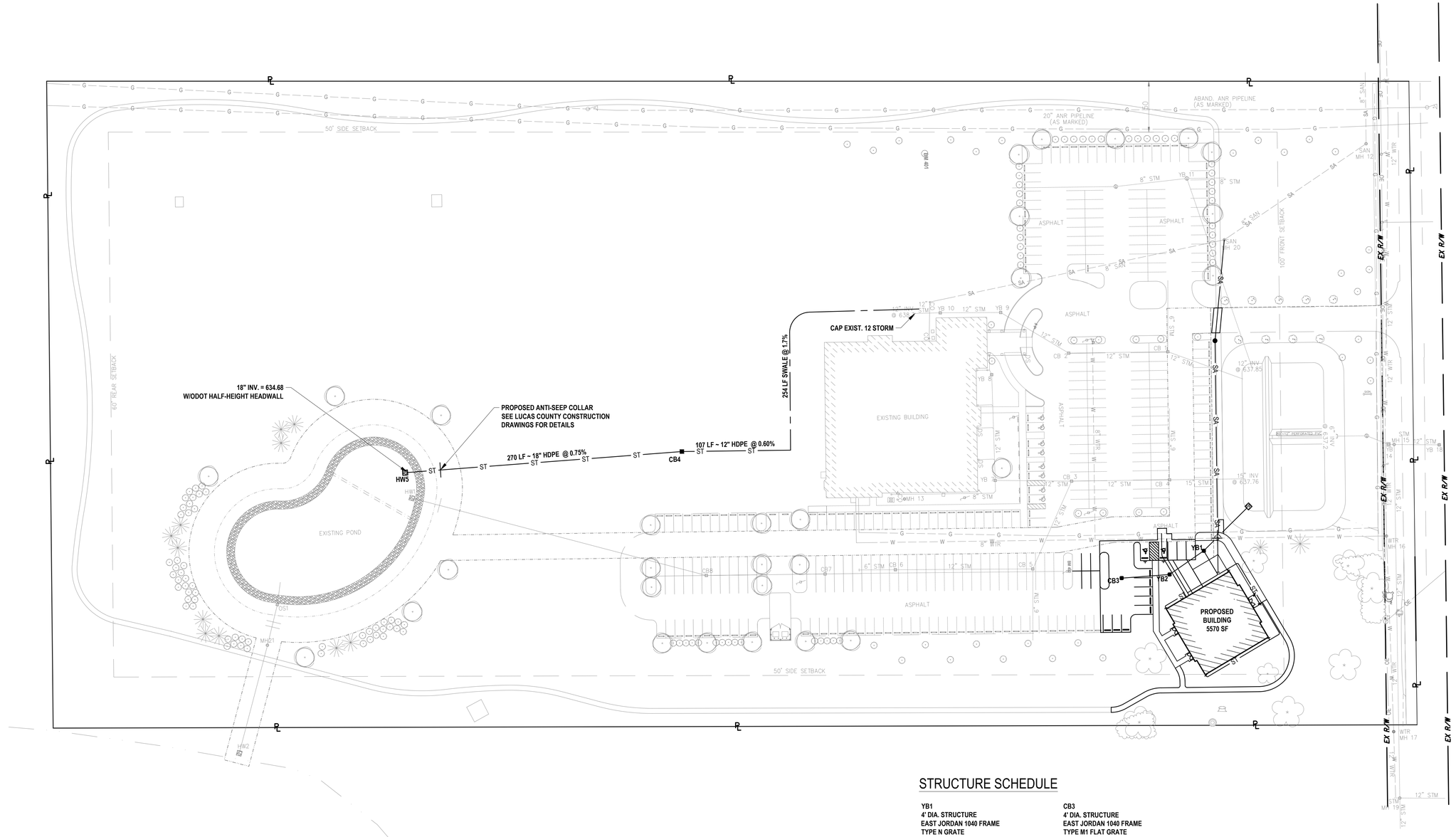

STRUCTURE SCHEDULE

YB1
4' DIA. STRUCTURE
EAST JORDAN 1040 FRAME
TYPE N GRATE
RIM = 641.00
12" SE = 637.17
12" NW = 637.17
6" NE = 637.23
BTM = 635.17

YB2
4' DIA. STRUCTURE
EAST JORDAN 1040 FRAME
TYPE N GRATE
RIM = 641.00
12" S= 637.33
12" NW = 637.33
BTM = 635.33

CB3
4' DIA. STRUCTURE
EAST JORDAN 1040 FRAME
TYPE M1 FLAT GRATE
RIM = 640.50
12" N = 637.50
BTM = 635.50

CB4
4' DIA. STRUCTURE
EAST JORDAN 1040 FRAME
TYPE M1 FLAT GRATE
RIM = 640.25
12" N = 636.71
18" S = 636.71
BTM = 634.71

HW5
ODOT HALF HEIGHT HEADWALL
18" NE = 634.68

NOTE:

1. IF CONSTRUCTION FOR THE PHASE 2 BUILDING EXPANSION HAS BEGUN PRIOR TO FINALIZING THE ACCESSORY BUILDING, REGRADING OF THE EXISTING SWALE IS NOT NECESSARY. STORM PIPING SHOULD BE INSTALLED AS SHOWN ON THESE PLANS AND CAPPED FOR EXTENSION AS PART OF THE NEXT PHASE.

NO.	DATE	BY	DESCRIPTION
1	10/30/2025	JEC	ISSUED FOR PERMITS
2	12/04/2025	JEC	MONCLOVA TOWNSHIP SUBMITTAL

1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43337
TEL: 419.891.2222
FAX: 419.891.1595

PROJECT DATE: 06/11/2025
PROJECT NO: 2500745
DRAWN BY: JEC
CHECKED BY: MJM

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

PREPARED FOR:
REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH SPECIAL FUNCTION ACCESSORY BUILDING

8606 SALISBURY ROAD
MONCLOVA, OH 43542

OVERALL UTILITY PLAN

C400

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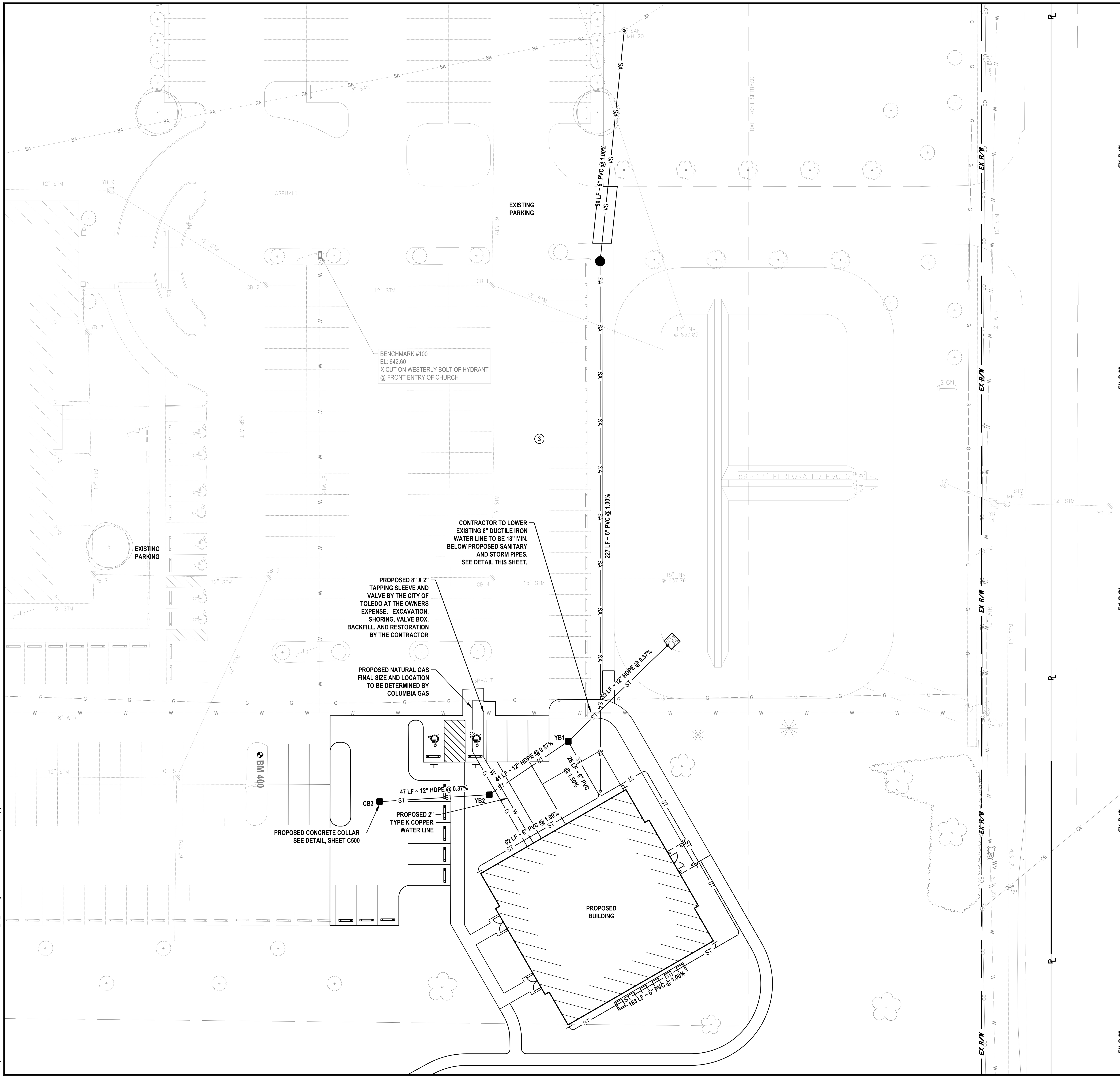

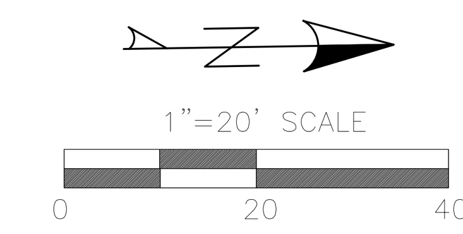

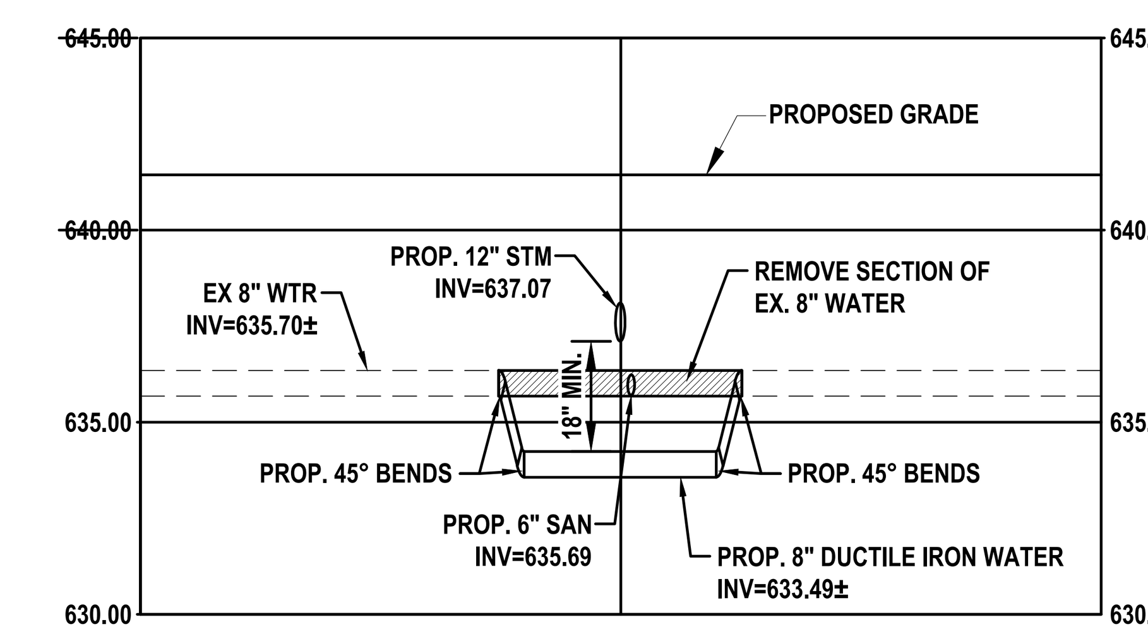

WATER LOWERING DETAIL
SCALE: 1" = 20'

NO.	DATE	BY	DESCRIPTION
1	10/30/2025	JEC	ISSUED FOR PERMITS
2	12/04/2025	JEC	MONCLOVA TOWNSHIP SUBMITTAL

1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43537
TEL: 419.891.2222
FAX: 419.891.1595

PROJECT DATE: 06/11/2025
PROJECT NO: 2500745
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PREPARED FOR:

REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH SPECIAL FUNCTION ACCESSORY BUILDING

8605 SALISBURY ROAD
MONCLOVA, OH 43542

ENLARGED UTILITY PLAN

C410

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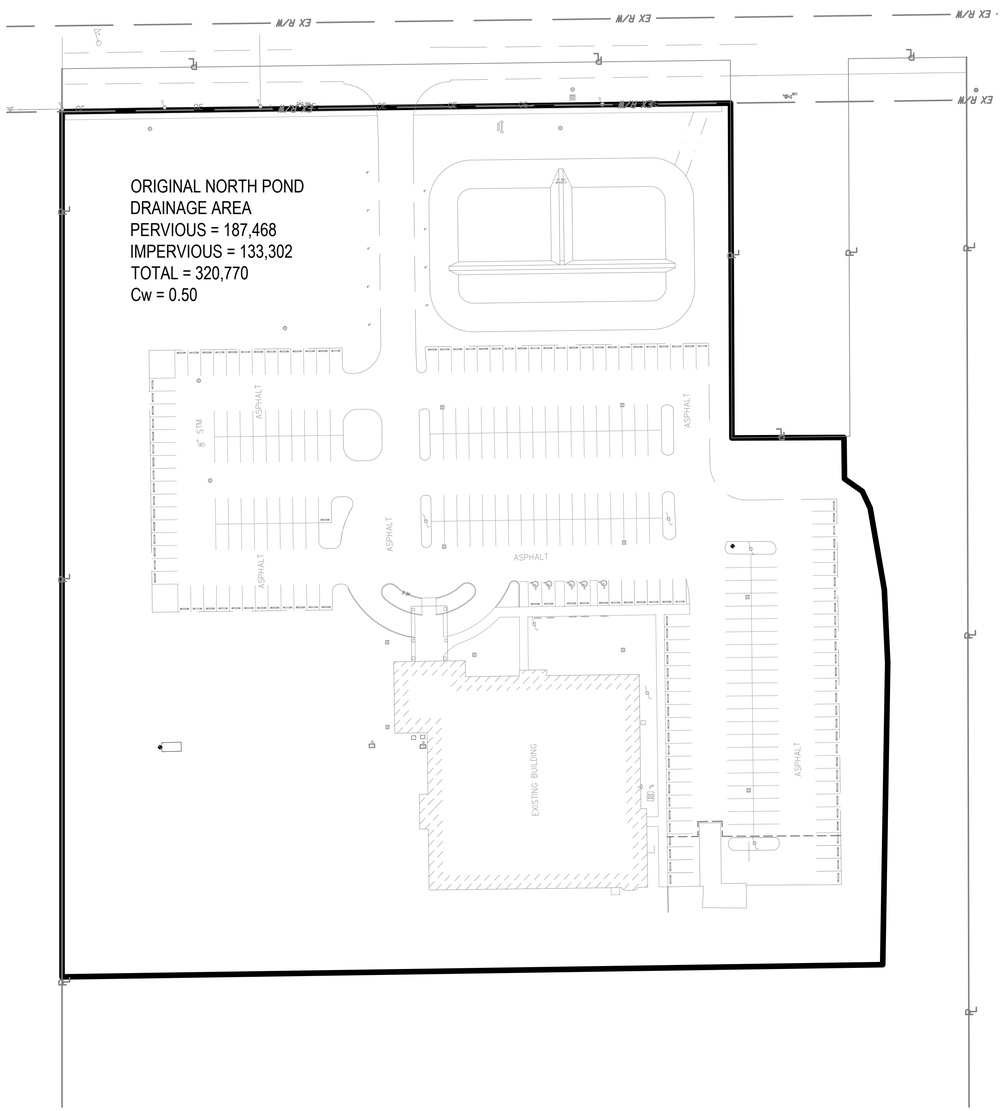
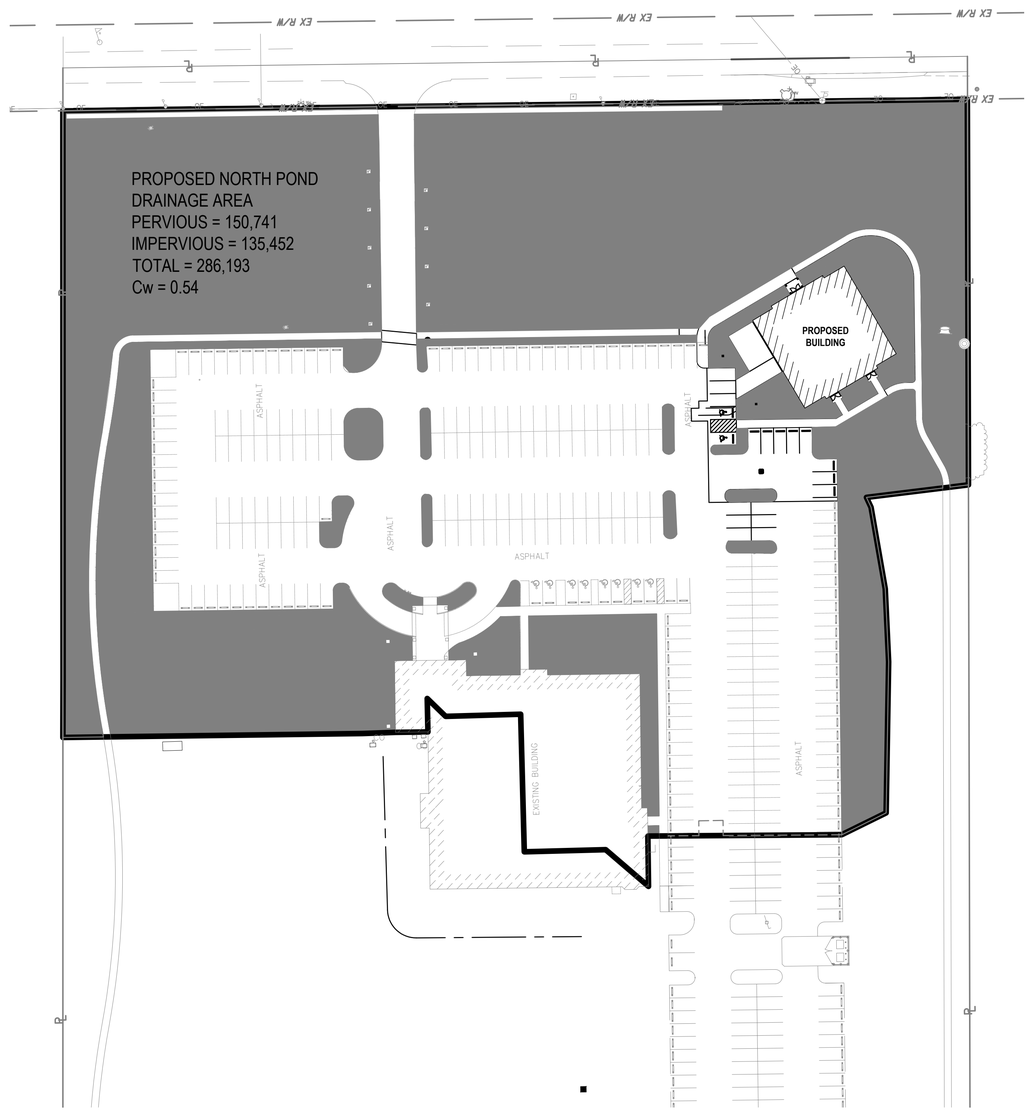
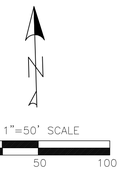


ORIGINAL NORTH POND DRAINAGE MAP FROM 2023 PARKING LOT EXPANSION



UPDATED NORTH POND DRAINAGE MAP PER PROPOSED IMPROVEMENTS



NO.	DATE	BY	DESCRIPTION
1	10/30/2025	JEC	ISSUED FOR PERMITS
2	12/04/2025	JEC	MONCLOVA TOWNSHIP SUBMITTAL

1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43337
TEL: 419.891.2222
FAX: 419.891.1595

PROJECT DATE: 06/11/2025
PROJECT NO: 2500745
DRAWN BY: JEC
CHECKED BY: MJM

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PREPARED FOR:
REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH SPECIAL FUNCTION ACCESSORY BUILDING

8605 SALISBURY ROAD
MONCLOVA, OH 43542

NORTH POND DRAINAGE MAPS

C420

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ORIGINAL NORTH POND DETENTION CALCULATIONS FROM 2023 PARKING LOT EXPANSION

Lucas County Engineer's Office
STORMWATER DETENTION DESIGN

BY: Troy Barman **DATE:** 4-5-23

PROJECT: Redemption Church
8605 Salisbury Road
Monclova, Ohio 43542

Notes:

Soil Type*	Area	C
A	152,716 sf	0.05
B	87,755 sf	0.16
C	14,964 sf	0.36
D	65,335 sf	0.47
Average C =		0.17

Length of Overland Flow (L)* 300 ft
Slope of Overland Flow (S) 0.16 %
Length of Shallow Flow (L)* 309 ft
Slope of Sallow Flow (S) 0.16 %
*switch to shallow flow after 300'+/- or where contours show a swale

* use the lower C value for a mixed soil type, ie - for a type B-D use type B, Based on Open Space, Good Condition

Overland Flow Calculation = To = 1.8(1.2-C)L*(1/2)/S^(1/3)
To = 53.3 minutes
Shallow Concentrated Flow = Ts = L/(60V)
v=3.3kS^(1/2)
K=Forrest with heavy ground litter = 0.076 Min. tillage cultivated, woodland = 0.152
Short grass pasture = 0.213; Cultivated straight row = 0.274; Poor grass, untilled = 0.305;
Grassed waterways = 0.457; Unpaved area, bare soil = 0.491; Paved aea = 0.621
K(used) = 0.274 cultivated
V= 0.352 fps

Ts 14.2 minutes
T= To+Ts 67.6 minutes

Enter values pertinent to the site in all non-shaded outlined cells.

TOTAL AREA (SQ. FT.):	320,770	7.364 Ac.			
ALLOWABLE AREA (SQ. FT.)	320,770	7.364 Ac.	**SITE PERVIOUS C =**	0.17	
WET POND AREA (SQ. FT.):		c=1.00			
PAVEMENT AREA (SQ. FT.):	109,246	c=0.96	**WT. C = Cw =**	0.50	
STONE AREA (SQ.FT.):		c=0.75			
BUILDING AREA (SQ. FT.):	24,056	c=0.96	**ALLOW C =**	0.17	
FUTURE BLDG. AREA (SQ. FT.):		c=0.96	**ALLOW Tc (mins.) =**	67.57	**20 mins Min.**
TOTAL IMPERVIOUS (SQ. FT.):	133,302		**ALLOW i_5 =**	1.40	
TOTAL OTHER AREA (SQ. FT.):	0				
NET PERVIOUS (SQ. FT.):	187,468		**Q ALLOW (cfs) =**	1.77	

Qallowable of 1.77 cfs exceeds the capacity of the existing county storm sewer system, the LCEO has determined a Qallowable of 0.50 cfs is to be used

DETENTION VOLUME CALCULATION

tc (min)	i25 in./hr.	CwA (A=Ac)	Qin Q25	Qout= Qallow	Qin-Qout	xtcx60 (cu. ft.)
200.00	0.87	3.67	3.19	0.50	2.69	32233
210.00	0.84	3.67	3.07	0.50	2.57	32365
220.00	0.81	3.67	2.96	0.50	2.46	32479
230.00	0.78	3.67	2.86	0.50	2.36	32575
240.00	0.75	3.67	2.77	0.50	2.27	32655
250.00	0.73	3.67	2.68	0.50	2.18	32721
260.00	0.71	3.67	2.60	0.50	2.10	32773
270.00	0.69	3.67	2.53	0.50	2.03	32814
280.00	0.67	3.67	2.45	0.50	1.95	32843
290.00	0.65	3.67	2.39	0.50	1.89	32861
300.00	0.63	3.67	2.33	0.50	1.83	32870
310.00	0.62	3.67	2.27	0.50	1.77	32869
320.00	0.60	3.67	2.21	0.50	1.71	32860
330.00	0.59	3.67	2.16	0.50	1.66	32842
340.00	0.57	3.67	2.11	0.50	1.61	32817
350.00	0.56	3.67	2.06	0.50	1.56	32785
360.00	0.55	3.67	2.02	0.50	1.52	32746

Req'd. Volume 32,870

METERLINE CALCULATIONS

10 Yr HGL Elev. @Outlet	638.18	Per LCEO	**Manning's n=**	0.012	n=0.012 Smooth Wall
Pond Elev. @Req'd. Storage	640.30				n=0.024 Corrugated Wall
Invert @Meterline Outlet	636.90		**PIPE LENGTH L (FT.) =**	23.0	
Top/ Pipe @Outlet	637.23		**PIPE DIA. (IN.):**	4	
MAX. HEAD = H (FT.)	2.12				

MAX. HEAD	Hx2G	1+Ke+29N^ 2L/R^4/3	V^2	V	AREA OF PIPE (A)	Q out (cfs)
2.12	136.53	4.14	32.99	5.74	0.087	0.50

Note that the spreadsheet uses a method that assumes the outlet is submerged and the pipe area is flowing full.

UPDATED NORTH POND DETENTION CALCULATIONS PER PROPOSED IMPROVEMENTS

Lucas County Engineer's Office
STORMWATER DETENTION DESIGN

BY: Jeremey Cook **DATE:** 10-15-25

PROJECT: Redemption Church
8605 Salisbury Road
Monclova, Ohio 43542

Notes:

Soil Type	Area	C
A	137,478 sf	0.05
B	93,861 sf	0.16
C	28,072 sf	0.36
D	26,782 sf	0.47
Average C =	0.16	

Length of Overland Flow (L)* 300 ft
Slope of Overland Flow (S) 0.16 %
Length of Shallow Flow (L)* 309 ft
Slope of Sallow Flow (S) 0.16 %
*switch to shallow flow after 300'+/- or where contours show a swale

* use the lower C value for a mixed soil type, ie - for a type B-D use type B, Based on Open Space, Good Condition

Overland Flow Calculation = To = 1.8(1.2-C)L*(1/2)/S^(1/3)
To = 53.3 minutes
Shallow Concentrated Flow = Ts = L/(60V)
v=3.3kS^(1/2)
K=Forrest with heavy ground litter = 0.076 Min. tillage cultivated, woodland = 0.152
Short grass pasture = 0.213; Cultivated straight row = 0.274; Poor grass, untilled = 0.305;
Grassed waterways = 0.457; Unpaved area, bare soil = 0.491; Paved aea = 0.621
K(used) = 0.274 cultivated
V= 0.352 fps

Ts 14.2 minutes
T= To+Ts 67.6 minutes

Enter values pertinent to the site in all non-shaded outlined cells.

TOTAL AREA (SQ. FT.):	286,193	6.570 Ac.			
ALLOWABLE AREA (SQ. FT.)	286,193	6.570 Ac.	**SITE PERVIOUS C =**	0.16	
WET POND AREA (SQ.FT.):		c=1.00			
PAVEMENT AREA (SQ. FT.):	115,810	c=0.96	**WT. C = Cw =**	0.54	
STONE AREA (SQ.FT.):		c=0.75			
BUILDING AREA (SQ. FT.):	19,642	c=0.96	**ALLOW C =**	0.16	
FUTURE BLDG. AREA (SQ.FT.):		c=0.96	**ALLOW Tc (mins.) =**	67.57	**20 mins Min.**
TOTAL IMPERVIOUS (SQ. FT.):	135,452		**ALLOW i_5 =**	1.40	
TOTAL OTHER AREA (SQ. FT.):					
NET PERVIOUS (SQ. FT.):	150,741		**Q ALLOW (cfs) =**	0.50	

(See original Detention Calcs)

TENTION VOLUME CALCULATION

tc (min)	i25 in./hr.	CwA (A=Ac)	Qin Q25	Qout= Qallow	Qin-Qout	xtcx60 (cu. ft.)
200.00	0.87	3.52	3.06	0.50	2.56	30666
210.00	0.84	3.52	2.94	0.50	2.44	30780
220.00	0.81	3.52	2.84	0.50	2.34	30876
230.00	0.78	3.52	2.74	0.50	2.24	30956
240.00	0.75	3.52	2.65	0.50	2.15	31021
250.00	0.73	3.52	2.57	0.50	2.07	31072
260.00	0.71	3.52	2.49	0.50	1.99	31110
270.00	0.69	3.52	2.42	0.50	1.92	31136
280.00	0.67	3.52	2.35	0.50	1.85	31152
290.00	0.65	3.52	2.29	0.50	1.79	31157
300.00	0.63	3.52	2.23	0.50	1.73	31153
310.00	0.62	3.52	2.17	0.50	1.67	31140
320.00	0.60	3.52	2.12	0.50	1.62	31119
330.00	0.59	3.52	2.07	0.50	1.57	31090
340.00	0.57	3.52	2.02	0.50	1.52	31053
350.00	0.56	3.52	1.98	0.50	1.48	31010
360.00	0.55	3.52	1.93	0.50	1.43	30961

Req'd. Volume 31,157

METERLINE CALCULATIONS

10 Yr HGL Elev. @Outlet	638.18	**Manning's n=**	0.012	n=0.012 Smooth Wall
Pond Elev. @Req'd. Storage	640.30			n=0.024 Corrugated Wall
Invert @Meterline Outlet	636.90	**PIPE LENGTH L (FT.) =**	23.0	
Top/ Pipe @Outlet	637.23	**PIPE DIA. (IN.):**	4	
MAX. HEAD = H (FT.)	2.12			

MAX. HEAD	Hx2G	1+Ke+29N^ 2L/R^4/3	V^2	V	AREA OF PIPE (A)	Q out (cfs)
2.12	136.53	4.14	32.99	5.74	0.087	0.50

Note that the spreadsheet uses a method that assumes the outlet is submerged and the pipe area is flowing full.

ORIGINAL NORTH POND DETENTION REQUIRED = 32,870 CF
PROPOSED NORTH POND DETENTION REQUIRED = 31,157 CF

EXISTING POND HAS THE CAPACITY FOR THE PROPOSED DRAINAGE AREA
AND DOES NOT NEED TO BE MODIFIED.

NO.	DATE:	BY	DESCRIPTION
1	10/30/2025	JEC	ISSUED FOR PERMITS
2	12/04/2025	JEC	MONCLOVA TOWNSHIP SUBMITTAL

1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43337
TEL: 419.891.2222
FAX: 419.891.1595

PROJECT DATE: 06/11/2025
PROJECT NO: 2500745
DRAWN BY: JEC
CHECKED BY: MJM

TECHNICAL SKILL. CREATIVE SPIRIT.
Mannik Smith GROUP
www.MannikSmithGroup.com

PREPARED FOR:
REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH
SPECIAL FUNCTION
ACCESSORY BUILDING
8605 SALISBURY ROAD
MONCLOVA, OH 43542

NORTH POND
DETENTION CALCS

C430

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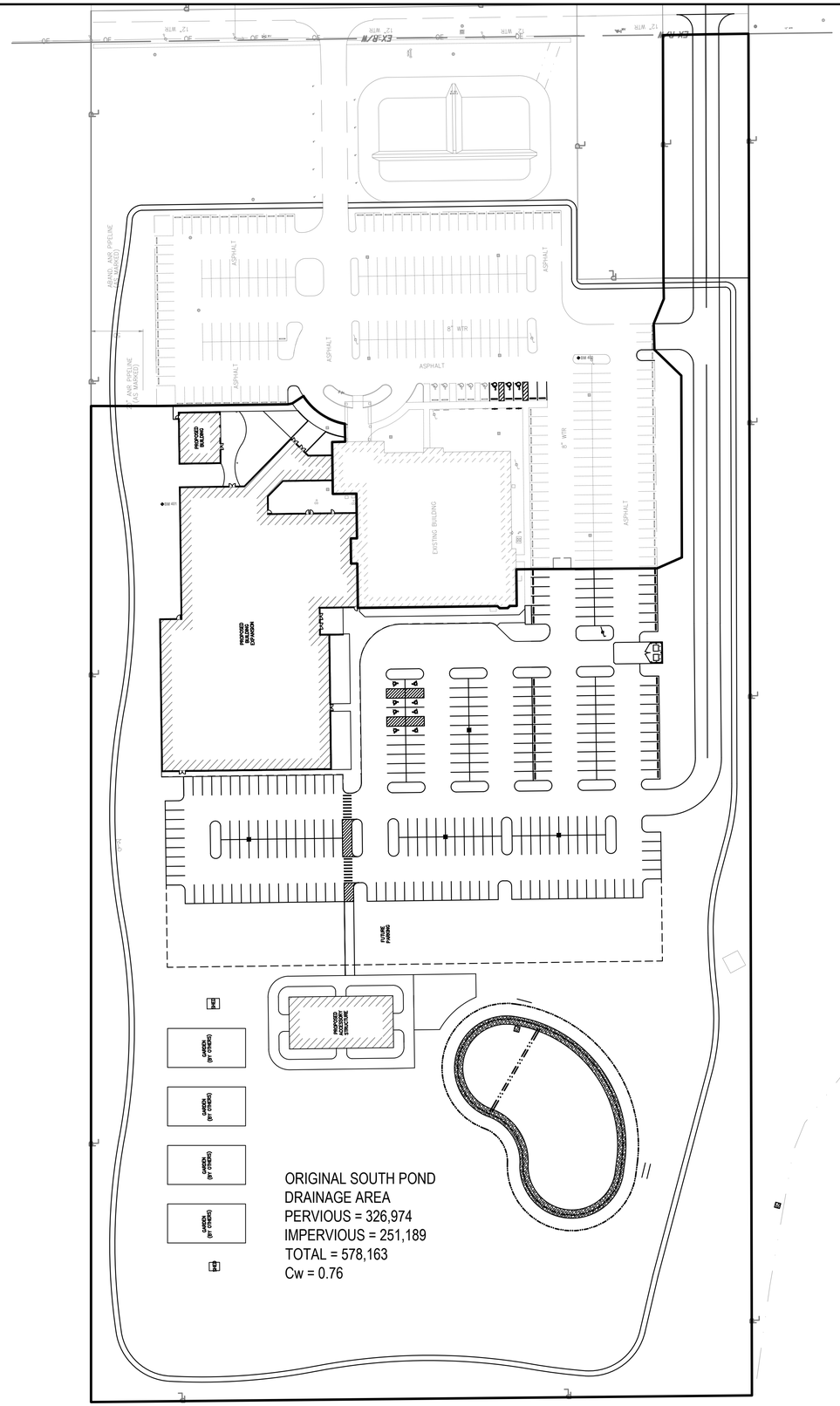
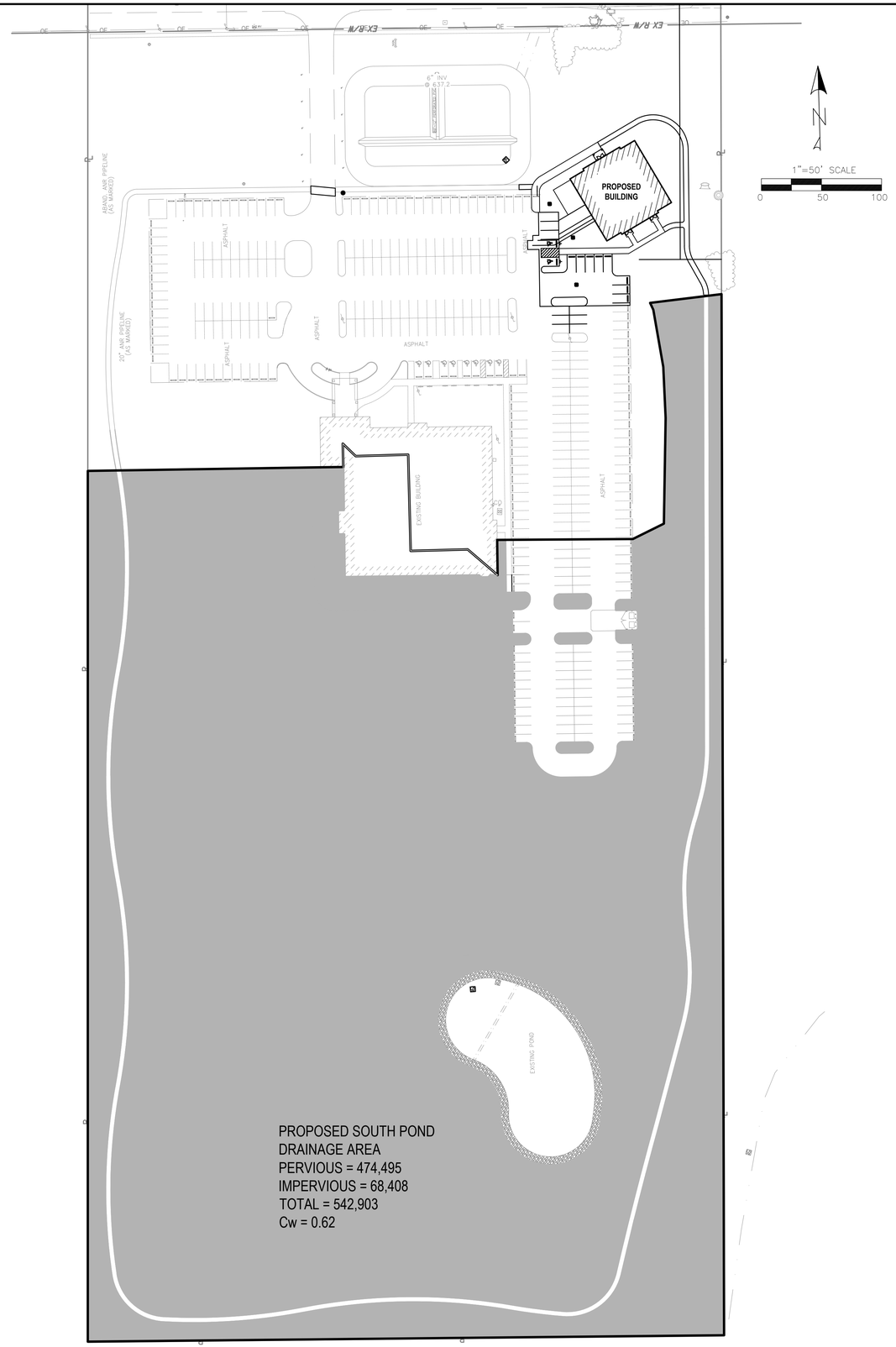


ORIGINAL SOUTH POND DRAINAGE AREA FOR FULL BUILDOUT FROM 2025 PARKING LOT EXPANSION



UPDATED SOUTH POND DRAINAGE AREA PER PROPOSED IMPROVEMENTS

NO.	DATE	BY	DESCRIPTION
1	10/30/2025	JEC	ISSUED FOR PERMITS
2	12/04/2025	JEC	MONCLOVA TOWNSHIP SUBMITTAL

1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43337
TEL: 419.891.2222
FAX: 419.891.1595

PROJECT DATE: 06/11/2025
PROJECT NO: 2500745
DRAWN BY: JEC
CHECKED BY: MJM

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PREPARED FOR:
REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH SPECIAL FUNCTION ACCESSORY BUILDING

8605 SALISBURY ROAD
MONCLOVA, OH 43542

SOUTH POND DRAINAGE MAPS

C440

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ORIGINAL SOUTH POND DETENTION CALCULATIONS FOR FULL BUILDOUT FROM 2025 PARKING LOT EXPANSION

Lucas County Engineer's Office
STORMWATER DETENTION DESIGN

BY: Mannik & Smith Group **DATE:** 10-10-24

PROJECT: Redemption Church **Notes:** ill Build-Out

Grass Areas

Soil Type	Area	C
A	33,082 sf	0.05
B	2,263 sf	0.16
C	65,715 sf	0.36
D	42,125 sf	0.47
Total	143,185	

Cultivated Areas

Soil Type	Area	C
D	165,388 sf	0.74
C	269,590 sf	0.66
Total	434,978	

Average C = 0.60

Enter values pertinent to the site in all non-shaded outlined cells.

TOTAL AREA (SQ. FT.):	578,163	13.273 Ac.			
ALLOWABLE AREA (SQ. FT.)	578,163	13.273 Ac.	**SITE PERVIOUS C =**	0.60	
WET POND AREA (SQ.FT.):	20,866	c=1.00			
PAVEMENT AREA (SQ. FT.):	176,623	c=0.96	**WT. C = Cw =**	0.76	
STONE AREA (SQ.FT.):	0	c=0.75			
BUILDING AREA (SQ. FT.):	53,700	c=0.96	**ALLOW C =**	0.60	
FUTURE BLDG. AREA (SQ.FT.):		c=0.96	**ALLOW Tc (mins.) =**	38.9	**20 mins Min.**
TOTAL IMPERVIOUS (SQ. FT.):	251,189		**ALLOW i_5 =**	2.07	
TOTAL OTHER AREA (SQ. FT.):	0				Allowable Q=16.50 cfs
NET PERVIOUS (SQ. FT.):	326,974		**Q ALLOW (cfs) =**	8.31	Meterline Controls

DETENTION VOLUME CALCULATION

tc (min)	i25 in./hr.	CwA (A=Ac)	Qin Q25	Qout= Qallow	Qin-Qout	xtcx60 (cu. ft.)
20.00	4.11	10.06	41.31	8.31	33.00	39600
30.00	3.27	10.06	32.93	8.31	24.62	44315
40.00	2.74	10.06	27.59	8.31	19.28	46266
50.00	2.37	10.06	23.86	8.31	15.55	46646
60.00	2.10	10.06	21.09	8.31	12.78	46026
70.00	1.88	10.06	18.96	8.31	10.65	44717
80.00	1.71	10.06	17.25	8.31	8.94	42908
90.00	1.58	10.06	15.85	8.31	7.54	40719
100.00	1.46	10.06	14.68	8.31	6.37	38234
110.00	1.36	10.06	13.69	8.31	5.38	35510
120.00	1.28	10.06	12.84	8.31	4.53	32590
130.00	1.20	10.06	12.09	8.31	3.78	29507
140.00	1.14	10.06	11.44	8.31	3.13	26286
150.00	1.08	10.06	10.86	8.31	2.55	22946
160.00	1.03	10.06	10.34	8.31	2.03	19504
170.00	0.98	10.06	9.88	8.31	1.57	15971
180.00	0.94	10.06	9.45	8.31	1.14	12359

Req'd. Volume 46,646

METERLINE CALCULATIONS

10 Yr HGL Elev. @Outlet	637.25	**Manning's n=**	0.012 n=0.012 Smooth Wall
Pond Elev. @Req'd. Storage	639.39		n=0.024 Corrugated Wall
Invert @Meterline Outlet	636.50	**PIPE LENGTH L(FT.) =**	41.0
Top/ Pipe @Outlet	637.75	**PIPE DIA. (IN.):**	15
MAX. HEAD = H (FT.)	1.64		

MAX. HEAD	Hx2G	1+Ke+29N^ 2L/R^4/3	V^2	V	AREA OF PIPE (A)	Q out (cfs)
1.64	105.87	2.31	45.88	6.77	1.227	8.31

Note that the spreadsheet uses a method that assumes the outlet is submerged and the pipe area is flowing full.

UPDATED SOUTH POND DETENTION CALCULATIONS PER PROPOSED IMPROVEMENTS

Lucas County Engineer's Office
STORMWATER DETENTION DESIGN

BY: Mannik & Smith Group **DATE:** 10-15-25

PROJECT: Redemption Church **Notes:** Rear Pond

Grass Areas

Soil Type	Area	C
A	31,805 sf	0.05
B	0 sf	0.16
C	51,074 sf	0.36
D	29,010 sf	0.47
Total	111,889	

Cultivated Areas

Soil Type	Area	C
D	######## sf	0.74
C	######## sf	0.66
Total	########	

Average C = 0.62

Enter values pertinent to the site in all non-shaded outlined cells.

TOTAL AREA (SQ. FT.):	542,903	12.463 Ac.			
ALLOWABLE AREA (SQ. FT.)	542,903	12.463 Ac.	**SITE PERVIOUS C =**	0.62	
WET POND AREA (SQ.FT.):	20,867	c=1.00			
PAVEMENT AREA (SQ. FT.):	37,501	c=0.96	**WT. C = Cw =**	0.66	
STONE AREA (SQ.FT.):	0	c=0.75			
BUILDING AREA (SQ. FT.):	10,040	c=0.96	**ALLOW C =**	0.62	
FUTURE BLDG. AREA (SQ.FT.):		c=0.96	**ALLOW Tc (mins.) =**	38.9	**20 mins Min.**
TOTAL IMPERVIOUS (SQ. FT.):	68,408		**ALLOW i_5 =**	2.07	
TOTAL OTHER AREA (SQ. FT.):	0				Allowable Q=16.50 cfs
NET PERVIOUS (SQ. FT.):	474,495		**Q ALLOW (cfs) =**	8.31	Meterline Controls

DETENTION VOLUME CALCULATION

tc (min)	i25 in./hr.	CwA (A=Ac)	Qin Q25	Qout= Qallow	Qin-Qout	xtcx60 (cu. ft.)
20.00	4.11	8.28	34.01	8.31	25.70	30836
30.00	3.27	8.28	27.11	8.31	18.80	33835
40.00	2.74	8.28	22.71	8.31	14.40	34560
50.00	2.37	8.28	19.64	8.31	11.33	33991
60.00	2.10	8.28	17.37	8.31	9.06	32599
70.00	1.88	8.28	15.61	8.31	7.30	30640
80.00	1.71	8.28	14.20	8.31	5.89	28269
90.00	1.58	8.28	13.05	8.31	4.74	25586
100.00	1.46	8.28	12.09	8.31	3.78	22659
110.00	1.36	8.28	11.27	8.31	2.96	19535
120.00	1.28	8.28	10.57	8.31	2.26	16250
130.00	1.20	8.28	9.95	8.31	1.64	12830
140.00	1.14	8.28	9.42	8.31	1.11	9297
150.00	1.08	8.28	8.94	8.31	0.63	5667
160.00	1.03	8.28	8.51	8.31	0.20	1951
170.00	0.98	8.28	8.13	8.31	-0.18	-1839
180.00	0.94	8.28	7.78	8.31	-0.53	-5694

Req'd. Volume 34,560

METERLINE CALCULATIONS

10 Yr HGL Elev. @Outlet	637.25	**Manning's n=**	0.012 n=0.012 Smooth Wall
Pond Elev. @Req'd. Storage	639.39		n=0.024 Corrugated Wall
Invert @Meterline Outlet	636.50	**PIPE LENGTH L(FT.) =**	41.0
Top/ Pipe @Outlet	637.75	**PIPE DIA. (IN.):**	15
MAX. HEAD = H (FT.)	1.64		

MAX. HEAD	Hx2G	1+Ke+29N^ 2L/R^4/3	V^2	V	AREA OF PIPE (A)	Q out (cfs)
1.64	105.87	2.31	45.88	6.77	1.227	8.31

Note that the spreadsheet uses a method that assumes the outlet is submerged and the pipe area is flowing full.

ORIGINAL SOUTH POND DETENTION REQUIRED = 46,646 CF
PROPOSED NORTH POND DETENTION REQUIRED = 34,560 CF

EXISTING POND HAS THE CAPACITY FOR THE PROPOSED DRAINAGE AREA
AND DOES NOT REQUIRE MODIFICATION.

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2	12/04/2025	JEC	MONCLOVA TOWNSHIP SUBMITTAL

1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43337
TEL: 419.891.2222
FAX: 419.891.1595

PROJECT DATE: 06/11/2025
PROJECT NO: 2500745
DRAWN BY: JEC
CHECKED BY: MJM

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

PREPARED FOR:
REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH
SPECIAL FUNCTION
ACCESSORY BUILDING
8605 SALISBURY ROAD
MONCLOVA, OH 43542

SOUTH POND
DETENTION CALCS

C450

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STORM PIPING
DRAINAGE MAP

C460

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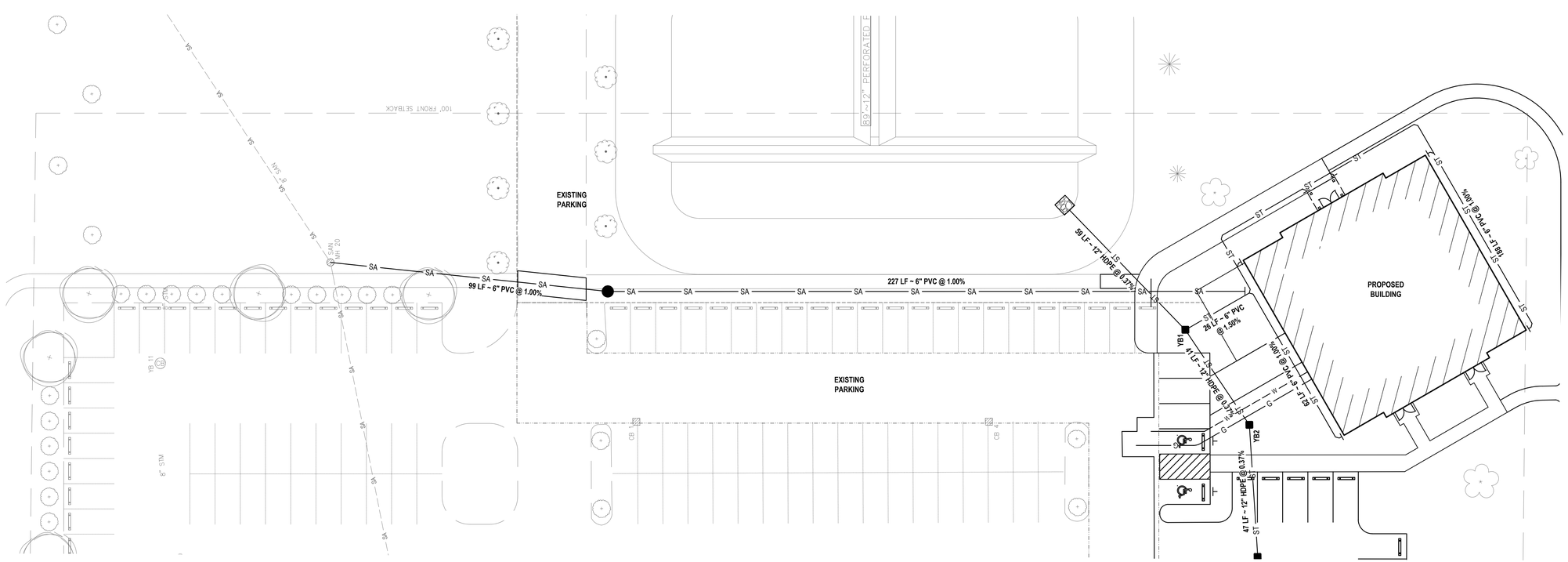
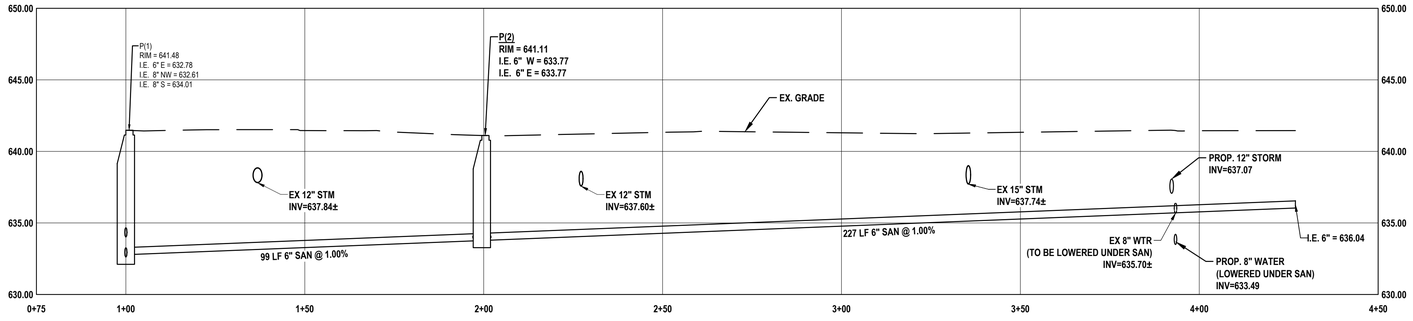


SANITARY PROFILE



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SANITARY PLAN & PROFILE

C470

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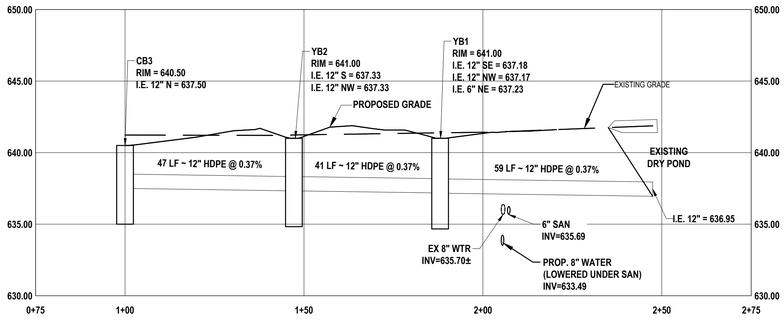
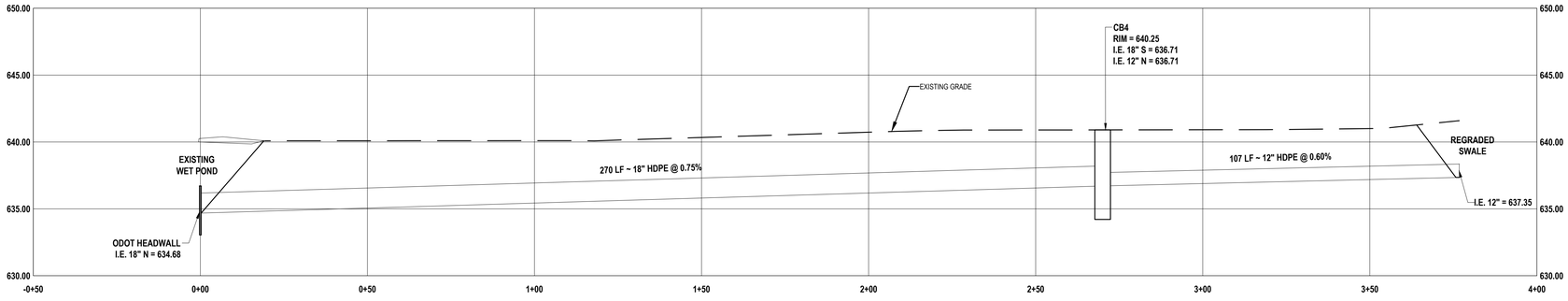
STORM PROFILE



STORM PROFILE



STORM SEWER DRAINAGE CALCULATIONS

n = 0.012 HDPE n = 0.013 (concretePipe) Date: May 2023

STRUCTURE FROM	TO	Drainage Area #	IMPERVIOUS	PERVIOUS	TOTAL	C	A Acres	CA	Cum. CA	Tc MIN	I INHR	Q CFS	SIZE IN	LENGTH FT	RIM	Cover At Rim	H INV FT	L INV FT	So	Qpipe CFS	Vf FT/S	Tt MIN	Slope x Distance
RUN 1																							
CB3	CB2	1	3892	1290	5182	0.76	0.12	0.091	0.09	20.0	3.16	**0.29**	12	47	640.50	2.00	637.50	637.33	0.37%	2.34	3.0	0.3	0.01
CB2	CB1	2	347	909	1256	0.38	0.03	0.011	0.10	20.3	3.14	**0.32**	12	41	641.00	2.67	637.33	637.17	0.37%	2.34	3.0	0.2	0.01
BLD1	TEE	4	2785	0	2785	0.96	0.06	0.061	0.06	10.0	4.30	**0.26**	6	62	642.20	3.46	638.24	637.62	1.00%	0.61	3.1	0.3	0.19
BLD2	TEE	5	2869	0	2869	0.96	0.07	0.063	0.06	10.0	4.30	**0.27**	6	188	642.20	2.20	639.50	637.62	1.00%	0.61	3.1	1.0	0.20
TEE	CB1								0.12	11.0	4.16	**0.52**	6	26	642.42	4.30	637.62	637.23	1.50%	0.74	3.8	0.1	0.72
CB1	POND	3	577	671	1248	0.53	0.03	0.015	0.24	20.5	3.12	**0.75**	12	59	641.00	2.83	637.17	636.96	0.37%	2.34	3.0	0.3	0.04
RUN 2																							
FINAL BUILDOUT																							
BLDG	REDUCER	6	10040	0	10040	0.96	0.23	0.221	0.22	10.0	4.30	**0.95**	8	135	642.20	2.83	638.70	637.35	1.00%	1.30	3.7	0.6	0.53
REDUCER	CB4								0.22	10.6	4.22	**0.93**	12	107			637.35	636.71	0.60%	2.98	3.8	0.5	0.06
FUTURE	CB4	7	63635	3088	66723	0.92	1.53	1.414	1.41														
CB5	POND	8	17762	3360	21122	0.83	0.48	0.404	2.04	20.0	3.16	**6.44**	18	270	640.25	2.04	636.71	634.68	0.75%	9.85	5.6	0.8	0.32
CURRENT PHASE																							
SWALE	CB4		10040	20121	30161	0.43	0.69	0.295	0.30	20.0	3.16	**0.93**	12	107	639.85	1.50	637.35	636.71	0.60%	2.98	3.8	0.5	0.06
CB4	POND		0	14233	14233	0.16	0.33	0.052	0.35	20.0	3.16	**1.10**	18	270	640.25	2.04	636.71	634.68	0.75%	9.85	5.6	0.8	0.01

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MONCLOVA, OH 43542

STORM PROFILES

C480

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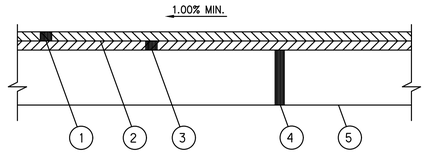


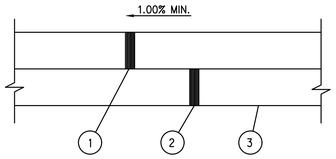
TYP. LIGHT DUTY FLEXIBLE PAVEMENT SECTION

NO SCALE

1	ODOT ITEM 441.02	1 1/4" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (449) PG 64-22
2	ODOT ITEM 407	TRACKLESS TACK, SURFACE COURSE (0.075 GAL/SQ. YD.)
3	ODOT ITEM 441.02	1 3/4" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, (449) PG 64-22
4	ODOT ITEM 304	8" AGGREGATE BASE, (2 EQUAL LAYERS)
5	ODOT ITEM 204	SUBGRADE COMPACTION

OWNER IS RESPONSIBLE FOR HIRING AN INDEPENDENT TESTING AGENCY TO ESTABLISH AN APPROPRIATE COMPACTION RATE BASED ON THE EXISTING SUBGRADE AND SOILS. THE OWNER IS RESPONSIBLE FOR TESTING DURING CONSTRUCTION TO VERIFY THAT THE COMPACTION RATE IS ACHIEVED.

COORDINATE WITH GEOTECHNICAL ENGINEER FOR SUBGRADE PREPARATION.

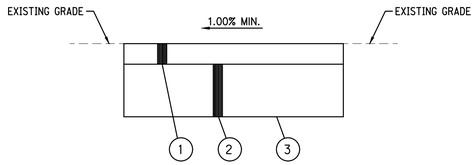


TYP. CONCRETE SIDEWALK SECTION

NO SCALE

1	ODOT ITEM 608	4" – CONCRETE SIDEWALK
2	ODOT ITEM 304	4" AGGREGATE BASE
3	ODOT ITEM 204	SUBGRADE COMPACTION

NOTE: TOOLED JOINTS ONLY, NO SAWCUTS



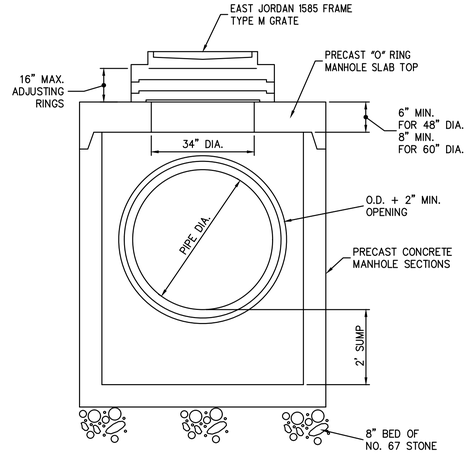
GRAVEL PATH TYPICAL SECTION

NO SCALE

1	ODOT ITEM 703.10	2" #10 SCREENINGS
2	ODOT ITEM 304	4" AGGREGATE BASE
3	ODOT ITEM 204	SUBGRADE COMPACTION

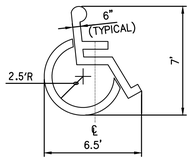
OWNER IS RESPONSIBLE FOR HIRING AN INDEPENDENT TESTING AGENCY TO ESTABLISH AN APPROPRIATE COMPACTION RATE BASED ON THE EXISTING SUBGRADE AND SOILS. THE OWNER IS RESPONSIBLE FOR TESTING DURING CONSTRUCTION TO VERIFY THAT THE COMPACTION RATE IS ACHIEVED.

COORDINATE WITH GEOTECHNICAL ENGINEER FOR SUBGRADE PREPARATION.



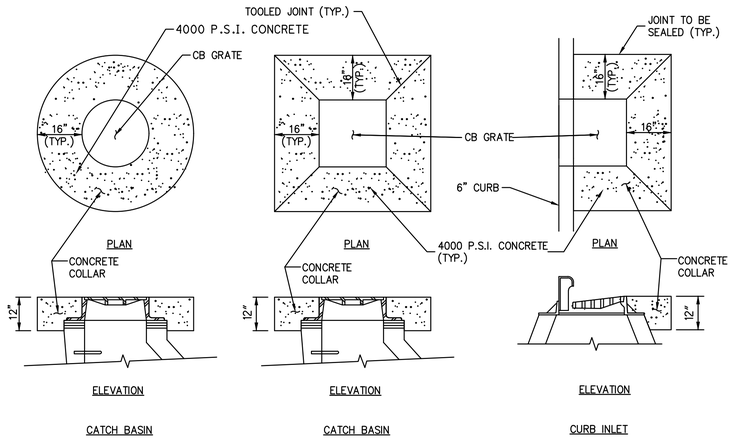
FLAT TOP CATCH STRUCTURE DETAIL

NO SCALE



ACCESSIBLE PARKING SYMBOL

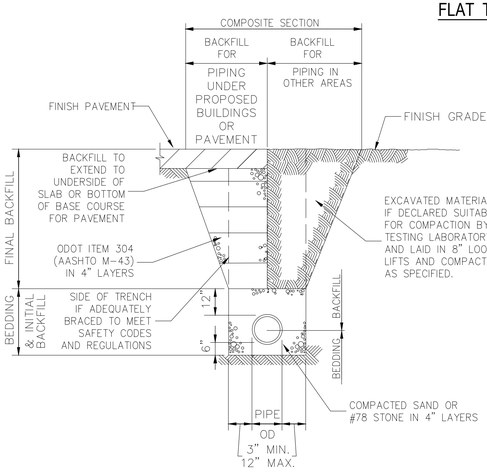
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



CONCRETE COLLAR DETAIL

NO SCALE

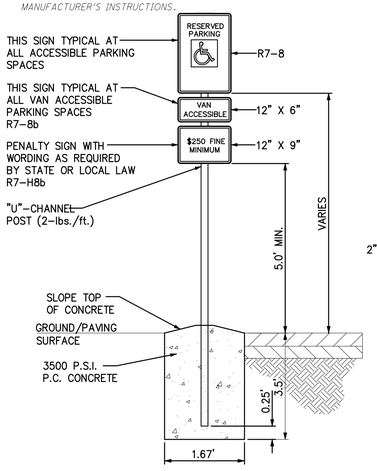
CONCRETE COLLAR SHALL BE PLACED AROUND ALL STRUCTURES CONSTRUCTED IN PAVEMENT AREA.



PIPE BEDDING & BACKFILL DETAIL

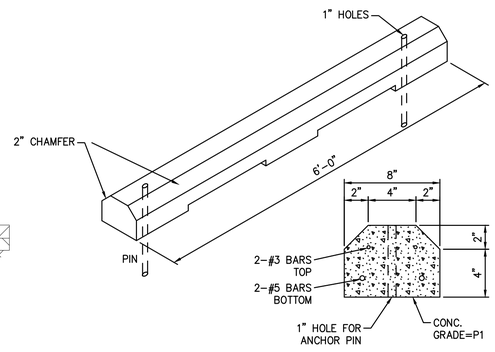
NO SCALE

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



HANDICAP PARKING SIGN DETAIL

NO SCALE



PRECAST PARKING BLOCK

REINFORCED CONCRETE CONSTRUCTION TO BE INSTALLED WITH 3/4"X18" STEEL PINS AS SHOWN

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MONCLOVA, OH 43542

DETAIL SHEET

C500

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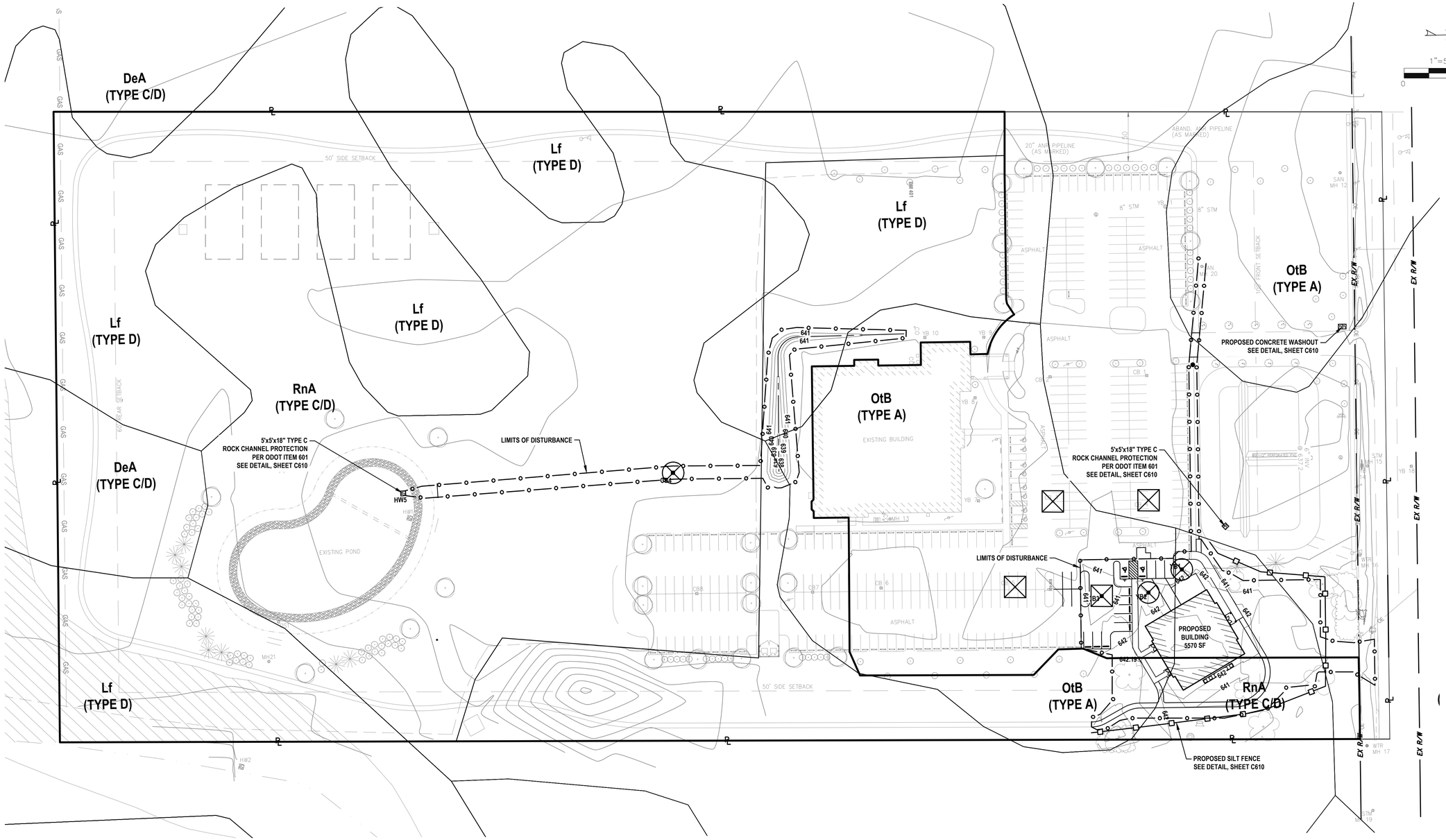

SOIL TYPE

SOILS WITHIN THE ENTIRE DISTURBED AREA CONSIST OF:

Lf	LENAWEE SILTY CLAY LOAM 0 TO 1 PERCENT SLOPES
DeA	DEL REY LOAM, SANDY SUBSTRATUM 0 TO 2 PERCENT SLOPES
RnA	RIMER LOAMY FINE SAND 0 TO 3 PERCENT SLOPES
OtB	OTTOKEE FINE SAND 0 TO 6 PERCENT SLOPES
Co	COLWOOD LOAM

CONSTRUCTION SEQUENCE FOR EROSION CONTROL

1. INSTALL SILT FENCE PER PLAN.
2. SITE DEMOLITION AND REMOVALS.
3. ROUGH GRADE SITE.
4. INSTALL BUILDING PAD.
5. INSTALL PROPOSED STORM SEWER STRUCTURES AND PIPING.
6. INSTALL CONCRETE WASH-OUT PIT PRIOR TO TAKING DELIVERY OF ANY CONCRETE.
7. INSTALL INLET PROTECTION ON CATCH BASINS AS THEY ARE INSTALLED.
8. GRADE SITE TO ACHIEVE PROPOSED GRADES.
9. CONSTRUCT PROPOSED SIDEWALKS.
10. COMPLETE PAVING OPERATIONS.
11. COMPLETE SITE CONSTRUCTION.
12. REMOVE CONCRETE WASH-OUT PIT UPON COMPLETION OF CONSTRUCTION AND SITE STABILIZATION.

PERFORM THE FOLLOWING UPON ESTABLISHMENT OF SITE VEGETATION

13. INSTALL LANDSCAPING.
14. REMOVE SILT FENCE, CONCRETE WASH-OUT PIT, AND DROP INLET PROTECTION.
15. CLEAN AND JET STORM SEWER SYSTEM. AS NEEDED.
16. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL SOIL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED.

NOTE:
1. CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES.

LEGEND

- PROPOSED SILT FENCE SEE DETAIL SHEET
- LIMITS OF DISTURBANCE (1.12 ACRES)
- DANDY BAG INLET PROTECTION IN PAVEMENT (SEE DETAIL SHEET)
- SEDCAGE INLET PROTECTION OUTSIDE PAVEMENT (SEE DETAIL SHEET)
- CONCRETE WASHOUT AREA SEE DETAIL SHEET

RECIEVING BODIES OF WATER

STORM WATER FROM THIS PORTION OF THE SITE WILL BE DETAINED ONSITE IN THE PROPOSED WET POND AND RELEASED INTO STONE DITCH.

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SWPPP PLAN

C600

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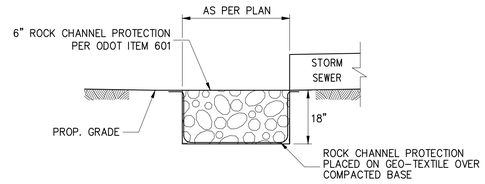
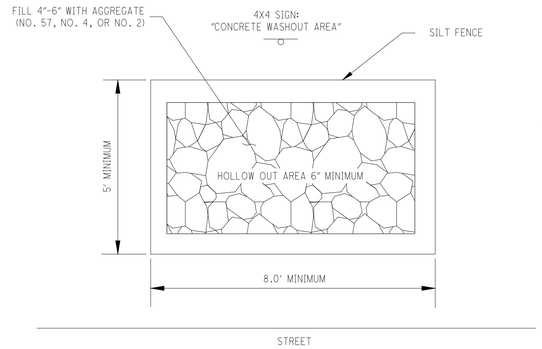


NOTE: GEOTEXTILE SHALL BE LAID WITH THE LONG DIMENSION PARALLEL TO THE DIRECTION OF FLOW AND SHALL BE LAID LOOSELY BUT WITHOUT WRINKLES AND CREASES. WHERE JOINTS ARE NECESSARY, STRIPS SHALL BE PLACED TO PROVIDE A 12-IN. MINIMUM OVERLAP, WITH THE UPSTREAM STRIP OVERLAPPING THE DOWNSTREAM STRIP.

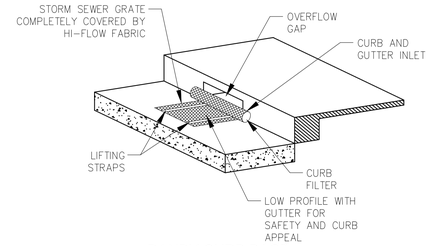
ROCK CHANNEL PROTECTION DETAIL AT STORM SEWER OUTLET/INLET

NO SCALE

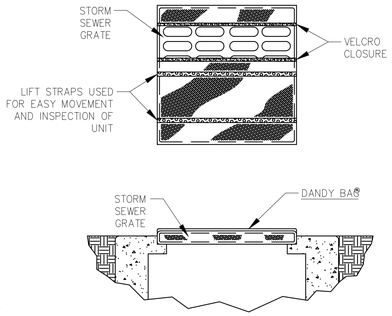


CONCRETE WASHOUT AREA

NO SCALE



DANDY CURB BAG™

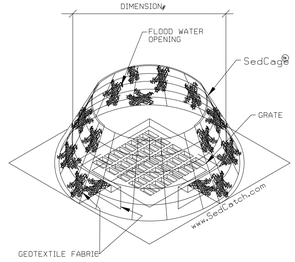


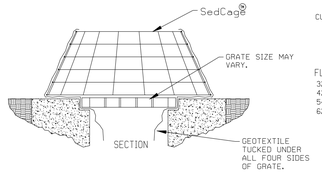
DANDY BAG®

SedCatch ® SedCage ® Yard Inlet Protection

LEGEND

SC	SedCage ®





SIZING INSTRUCTIONS:

MEASURE THE DIAGONAL DIMENSION OF THE GRATE. SELECT A CAGE THAT IS AT LEAST 1" LARGER.

COMPATIBLE GRATES:

A SedCage® IS COMPATIBLE WITH ALL GRATES IN WHICH THE EDGES OF THE GRATE ARE SUPPORTED BY A LEDGE.

SIZES:

32" SedCage®
FITS SQUARE GRATES FROM 12" X 12" THROUGH 22" X 22"
FITS ROUND GRATES FROM 8" DIA. THROUGH 24" DIA.
FITS RECTANGULAR GRATES WITH A DIAGONAL BETWEEN 17" AND 31" ($a_2 + b_2 \leq c_2$)

42" SedCage®
FITS SQUARE GRATES FROM 19" X 19" THROUGH 29" X 29"
FITS ROUND GRATES FROM 19" DIA. THROUGH 30" DIA.
FITS RECTANGULAR GRATES WITH A DIAGONAL BETWEEN 28" AND 41" ($a_2 + b_2 \leq c_2$)

54" SedCage®
FITS SQUARE GRATES FROM 24" X 24" THROUGH 36" X 36"
FITS ROUND GRATES FROM 24" DIA. THROUGH 48" DIA.
FITS RECTANGULAR GRATES WITH A DIAGONAL BETWEEN 32" AND 53" ($a_2 + b_2 \leq c_2$)

62" SedCage®
FITS SQUARE GRATES FROM 27" X 27" THROUGH 42" X 42"
FITS ROUND GRATES FROM 28" DIA. THROUGH 48" DIA.
FITS RECTANGULAR GRATES WITH A DIAGONAL BETWEEN 44" AND 61" ($a_2 + b_2 \leq c_2$)

CUSTOM SIZES AVAILABLE

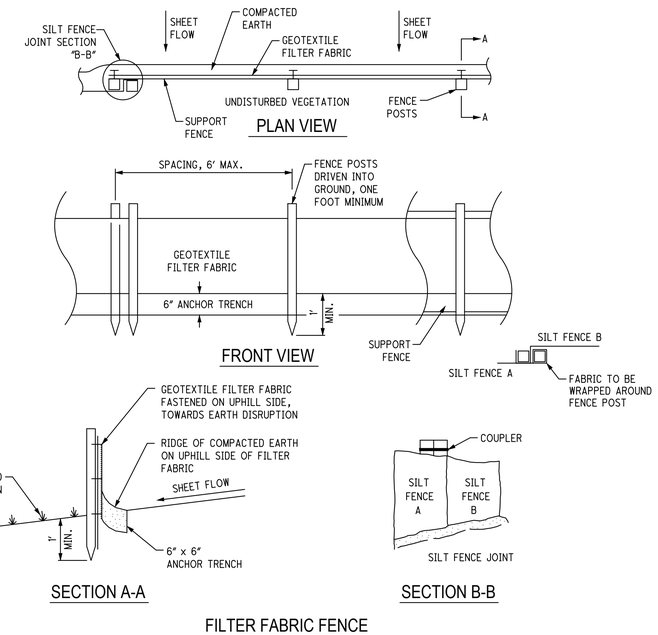
FLOOD WATER CLEAR OPENING:

32" SedCage	230 sq.in.
42" SedCage	515 sq.in.
54" SedCage	1075 sq.in.
62" SedCage	1320 sq.in.

US PATENT D 620,999. OTHER PATENTS PENDING

SedCatch ® Environmental Products
www.SedCatch.com

1. INLET PROTECTION SHALL BE INSTALLED AT THE TIME THE STRUCTURE IS SET.
2. TO INSTALL: TUCK FABRIC UNDER GRATE.
3. REMOVE SEDIMENT IF IT ACCUMULATES TO ONE HALF THE HEIGHT OF THE SedCage ®
4. THE AREA AROUND THE SedCage ® SHOULD BE AS FLAT AS POSSIBLE TO INCREASE EFFECTIVENESS AND REDUCE MAINTENANCE REQUIREMENTS.
5. AS WITH ALL INLET PROTECTION DEVICES, CHECK TO SEE HOW DEEP THE WATER COULD RISE IF THE INLET WERE BLOCKED ENTIRELY. DO NOT INSTALL IN LOCATIONS THAT COULD CAUSE PROPERTY DAMAGE OR POSE A SAFETY HAZARD TO TRAFFIC.



FILTER FABRIC FENCE

NO.	DATE	BY	DESCRIPTION
1	10/30/2025	JEC	ISSUED FOR PERMITS
2	12/04/2025	JEC	MONCLOVA TOWNSHIP SUBMITTAL

1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43337
TEL: 419.891.2222
FAX: 419.891.1595

PROJECT DATE: 06/11/2025
PROJECT NO: 2500745
DRAWN BY: JEC
CHECKED BY: MJM

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

PREPARED FOR:
REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH
SPECIAL FUNCTION
ACCESSORY BUILDING
8605 SALISBURY ROAD
MONCLOVA, OH 43542

SWPPP DETAILS

C610

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1. THE STORM WATER POLLUTION PREVENTION PLAN AND DETAILS SHALL BE AVAILABLE FOR INSPECTION ON SITE DURING WORKING HOURS.

2. CONTRACTOR SHALL MAINTAIN A LOG DOCUMENTING GRADING AND STABILIZATION ACTIVITIES AS WELL AS AMENDMENTS TO THE STORM WATER POLLUTION PLAN, WHICH OCCUR AFTER CONSTRUCTION ACTIVITIES COMMENCE.

3. MINIMIZE TRACKING OF SEDIMENTS BY VEHICLES BY UTILIZING THE CONSTRUCTION ENTRANCE AS THE ONLY ENTRANCE FOR VEHICLES. MAINTAIN THIS ENTRANCE WITH STONE AS NEEDED TO PREVENT DIRT AND MUD FROM TRACKING ONTO THE ROADWAY. REGULAR SWEEPING OF THE ROADWAY MAY BE NECESSARY TO ENSURE ROADWAY DOES NOT BUILD UP WITH SEDIMENTS.

4. THE OWNER OF RECORD MUST PROVIDE REGULAR INSPECTIONS BY A QUALIFIED PERSON AND MAINTENANCE FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES. PERMANENT RECORDS OF ALL MAINTENANCE AND INSPECTIONS MUST BE KEPT THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTION MUST BE MADE A MINIMUM OF ONCE EVERY SEVEN (7) DAYS AND IMMEDIATELY AFTER STORM EVENTS GREATER THAN 0.5 INCHES OF RAIN WITHIN A 24-HOUR PERIOD. THE NAME OF OWNER'S DESIGNATED INSPECTOR, MAJOR OBSERVATIONS, DATE OF INSPECTIONS AND CORRECTIVE MEASURES TAKEN MUST BE NOTED ON ALL INSPECTIONS. INSPECTION RECORDS SHALL BE KEPT FOR 3 YEARS AFTER TERMINATION OF CONSTRUCTION ACTIVITIES. NON SEDIMENT POND BMPS SHALL BE REPAIRED WITHIN 3 DAYS OF INSPECTION, AND SEDIMENT PONDS SHALL BE REPAIRED OR CLEANED OUT WITHIN 10 DAYS OF INSPECTION. BMP'S MISSING OR NOT MEETING THE INTENDED FUNCTION SHALL BE REPLACED/INSTALLED WITHIN 10 DAYS OF INSPECTION. A COPY OF ALL EPA INSPECTION LOG SHEETS SHALL BE FORWARDED TO THE LCEO UPON COMPLETION OF EACH INSPECTION.

5. OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS AND MAY BE REQUIRED AT THE DISCRETION OF THE LOCAL AUTHORITIES.

6. SEDIMENT/STORMWATER PONDS AND EROSION AND SEDIMENT CONTROLS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING. UPON COMPLETION OF CONSTRUCTION OF PONDS, SEEDING AND MULCHING SHALL IMMEDIATELY FOLLOW TO AID IN THE STABILIZATION AND MINIMIZE EROSION AND SEDIMENT TRANSPORT OF THE SOIL BEFORE WATER LEAVES THE POND. ALL EROSION AND SEDIMENT CONTROLS SHALL CONTINUE TO FUNCTION UNTIL DISTURBED AREAS ARE RESTABILIZED. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.

7. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF. (THIS INCLUDES WASHING OUT OF CEMENT TRUCKS.) DESIGNATED WASH PIT AREAS ARE SHOWN ON THE PLANS AND ARE PRESET FOR THIS PURPOSE AWAY FROM AREAS OF STORM WATER RUNOFF.

8. SITE STABILIZATION EITHER PERMANENT OR TEMPORARY MUST FOLLOW THE APPLICABLE FOLLOWING REQUIREMENTS;

8.1. PERMANENT STABILIZATION:

8.1.1. ANY AREA THAT WILL LIE DORMANT FOR ONE YEAR OR MORE MUST BE STABILIZED WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE.

8.1.2. ANY AREA WITHIN 50 FEET OF A WATERCOURSE, AND AT FINAL GRADE. MUST BE STABILIZED WITHIN 2 DAYS OF REACHING FINAL GRADE.

8.1.3. ANY AREA AT FINAL GRADE. MUST BE STABILIZED WITHIN 7 DAYS OF REACHING FINAL GRADE WITHIN THAT AREA.

8.2. TEMPORARY STABILIZATION:

8.2.1. ANY DISTURBED AREA WITHIN 50 FEET OF A WATERCOURSE AND NOT AT FINAL GRADE MUST BE STABILIZED WITHIN 2 DAYS OF THE MOST RECENT DISTURBANCE, IF THAT AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS.

8.2.2. FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREA, INCLUDING SOIL STOCKPILES, THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A WATERCOURSE MUST BE STABILIZED WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA.

8.2.3. DISTURBED AREAS THAT WILL BE IDLE OVER THE WINTER MUST BE STABILIZED BEFORE NOVEMBER 1.

8.3. WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. THESE TECHNIQUES MAY INCLUDE MULCHING, EROSION MATTING, OR PLACEMENT OF STONE.

9. THE CONTRACTOR SHALL PHASE CONSTRUCTION ACTIVITIES AS MUCH AS POSSIBLE TO MINIMIZE THE AMOUNT OF LAND DISTURBANCE AT ONE TIME.

10. THE CONTRACTOR SHALL LIMIT THE SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY EXCAVATION, BORROW, AND FILL OPERATIONS AND PROVIDE IMMEDIATE PERMANENT OR TEMPORARY CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, OR OTHER AREAS OF WATER IMPOUNDMENT.

11. THIS WORK SHALL CONSIST OF TEMPORARY CONTROL MEASURES AS DETAILED IN THE PLANS OR ORDERED BY THE ENGINEER DURING THE LIFE OF THE CONTRACT TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGH USE OF BEST MANAGEMENT PRACTICES AS DETAILED IN THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL.

12. TEMPORARY EROSION AND SEDIMENT CONTROL ITEMS, THE LOCATION AND SIZE OF WHICH ARE DETAILED IN THE PLANS, SHALL BE INSTALLED BY THE CONTRACTOR UPON COMMENCEMENT OF ANY CLEARING OR EARTHWORK OPERATIONS. TEMPORARY CONTROL MEASURES WILL BE USED WHEN AND AS DIRECTED BY THE ENGINEER TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE NOT FORESEEN DURING THE DESIGN STAGE; THAT ARE NEEDED PRIOR TO INSTALLATION OF PERMANENT CONTROL FEATURES; OR THAT ARE NEEDED TEMPORARILY TO CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.

13. EXISTING VEGETATIVE GROWTH SHALL REMAIN UNDISTURBED AS LONG AS POSSIBLE. THE CONTRACTOR SHALL SEED AND MULCH ALL AREAS DISTURBED.

14. TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED AND SHALL SUBSEQUENTLY BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER. TEMPORARY AND PERMANENT EROSION CONTROL FEATURES SHALL BE CHECKED AFTER EACH MEASURABLE RAINFALL AND RE-ESTABLISHED AS NECESSARY. REMOVED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE SITE.

15. CONTRACTOR IS TO PROVIDE SPECIFIC LOCATIONS FOR THE PROPER CROSSING OF DIVERSION SWALES WITH VEHICLES AND EQUIPMENT. AT THESE LOCATIONS THE DIVERSION SWALES SHALL BE PROTECTED FROM INCURRING DAMAGE FROM THE VEHICLES AND EQUIPMENT. IF ANY DAMAGE IS TO OCCUR THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING SAID DAMAGE IMMEDIATELY, PRIOR TO CONTINUATION OF WORK ON SITE.

16. IN THE EVENT THAT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED DUE TO THE CONTRACTOR'S NEGLIGENCE, CARELESSNESS, OR FAILURE TO INSTALL PERMANENT CONTROLS AS A PART OF THE WORK AS SCHEDULED, AND ARE ORDERED BY THE ENGINEER, SUCH TEMPORARY WORK SHALL BE PERFORMED BY THE CONTRACTOR AT HIS EXPENSE.

17. TEMPORARY SEEDING SPECIFICATIONS:

SEEDING DATES	SEEDING TYPES	APPLICATION RATE (POUNDS PER 1000 SQ. FT.)
MARCH 1 - AUGUST 15	OATS OR PERENNIAL RYE GRASS TALL FESCUE	3* 1*
AUGUST 16 - NOVEMBER 1	RYE,WHEAT OR PERENNIAL RYE GRASS TALL FESCUE	3* 1*
AFTER NOVEMBER 1	STRAW OR HAY MULCH	2-3 BALES
SEED BED PREPARATION	LIME 10-10-10 OR 12-12-12 FERTILIZER	100*

THE CONTRACTOR SHALL MAINTAIN ALL SEEDED, MULCHED AREAS UNTIL FINAL INSPECTION. MAINTENANCE SHALL ALSO INCLUDE REPAIRING ANY AREAS DAMAGED FOLLOWING THE SEEDING OR MULCHING OPERATION DUE TO WIND, WATER, FIRE, OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITION OF THE GRADE OF THE AREA PRIOR TO SEEDING AND SHALL THEN BE RE-FERTILIZED RE-SEEDED, RE-MULCHED AS DIRECTED BY THE PROJECT ENGINEER.

ALL DISTURBED AREAS NOT DESIGNATED TO RECEIVE A FINISHED SURFACE SHALL BE SEEDED WITH ODOT CLASS 1 MIXTURE, MULCHED AND FERTILIZED PER ODOT SPECIFICATION 659. ALL LAWN AND PLANTER AREAS SHALL RECEIVE A MINIMUM OF 4" TOPSOIL. FINAL GRADES AS INDICATED ON THE DRAWINGS.

IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH UNWEATHERED SMALL GRAIN STRAW AND SPREAD UNIFORMLY AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE OR 100 POUNDS (2 TO 3 BALES) PER 1,000 SQUARE FEET. THIS MULCH SHOULD BE ANCHORED WITH A DISC-TYPE ANCHORING TOOL OR OTHER MEANS.

18. INSTALL SILT FENCE OR COMBINATION BARRIERS AT LOCATIONS SO INDICATED ON THE STORMWATER POLLUTION PREVENTION PLAN (SEE DETAIL). PROVIDE FOR TEMPORARY SEDIMENT CONTROL AT STOCKPILES (TEMPORARY AND EXCESS) BY PLACING SILT FENCE AROUND STOCKPILES.

19. INLET PROTECTION TO BE PLACED AROUND ALL YARD DRAINS TO MINIMIZE SILTING OF PIPE AND TRANSPORT OF SILT (SEE DETAIL).

20. INSTALL DANDY BAGS ON INLETS IN PAVEMENT.

21. INSTALL TEMPORARY AGGREGATE PAD AT POINT OF INGRESS AND EGRESS FROM PROJECT TO PREVENT VEHICULAR TRACKING OFF-SITE (SEE DETAIL). THE PAD SHALL BE CLEANED AND REPLENISHED, AS NECESSARY, DURING THE CONSTRUCTION PERIOD.

22. TOPSOIL STOCKPILES SHALL RECEIVE TEMPORARY SEEDING AND MULCHING AS SOON AS STOCKPILING OPERATIONS ARE COMPLETED OR A SILT FENCE SHALL BE INSTALLED ALONG AND 20 FEET FROM THE TOE OF THE STOCKPILE. TOPSOIL SHALL BE REPLACED AS QUICKLY AS CONSTRUCTION PERMITS.

23. ADDITIONAL EROSION CONTROLS MAY BE MANDATED BY THOSE AGENCIES HAVING JURISDICTION.

24. ROUTINE INSPECTION WILL BE CONDUCTED ON ALL EROSION CONTROL PRACTICES FOR THIS PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ALL DEFICIENCIES REVEALED BY THE INSPECTIONS.

25. ALL EROSION CONTROL PRACTICES SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE OHIO EPA GENERAL CONSTRUCTION PERMIT REQUIREMENTS.

26. PRIOR TO BEGINING CONSTRUCTION, THIS SITE WILL WILL OBTAIN COVERAGE UNDER OHIO EPA GENERAL PERMIT OHC000006 FOR STORM WATER POLLUTION ASSOCIATED WITH CONSTRUCTION.

27. THE GENERAL LOCATION OF THE STAGING AREA IS NOT SHOWN. THE STAGING AREA SHALL BE ESTABLISHED EITHER ON EXISTING PAVEMENT OR ON 12" OF GRANULAR AGGREGATE BASE. IF AN AGGREGATE BASE COURSE IS USED, THEN THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE STONE SUCH THAT IT IS REPLENISHED WHEN THE DEPTH IS LESS THAN 6" OR REMOVED AND REPLACED IF THE STONE BECOMES LADEN WITH MUD.

28. A SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE GROUND STORAGE TANK (AST) OF 660 GALLONS OR MORE, TOTAL ABOVE GROUND TANK STORAGE OF 1330 GALLONS, OR BELOW GROUND STORAGE OF 42,000 GALLONS OF FUEL.

WASTE DISPOSAL

29. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A MINIMUM OF ONE SOLID WASTE DISPOSAL RECEPTACLE, AND HAVE THIS RECEPTACLE EMPTIED BY A CONTRACT TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE AS NECESSARY. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORM WATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN THESE RECEPTACLES. THE LOCATION IS TO BE DETERMINED IN THE FIELD. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE DISPOSAL, INCLUDING OPEN BURNING, SANITARY WASTES, AND CONSTRUCTION AND DEMOLITION DEBRIS SHALL COMPLY WITH APPLICABLE STATE OR LOCAL WASTE DISPOSAL REQUIREMENTS.

SPILL REQUIREMENTS

30. SHOULD AN ACCIDENTAL SPILL OCCUR, IMMEDIATE ACTION WILL BE UNDERTAKEN BY THE GENERAL CONTRACTOR TO CONTAIN AND REMOVE THE SPILLED MATERIAL IMMEDIATELY AND BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY LOCAL, STATE, AND FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS, AS SOON AS POSSIBLE, ALL SPILLS >25 GALLONS SHALL BE REPORTED TO THE APPROPRIATE STATE AND LOCAL AGENCIES, THIS SHALL INCLUDE THE OHIO EPA AT 800-282-9378, THE LOCAL FIRE DEPARTMENT, THE NATIONAL RESPONSE CENTER AT 800-424-8802, US COAST GUARD 440-288-1206 (IF APPLICABLE) OR THE APPROPRIATE LCEO OR LUCAS COUNTY DEPARTMENTS.

31. ALL CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED IN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs). NON-SEDIMENT POLLUTION CONTROLS. CONTRACTOR SHALL CONSTRUCT BERMS, TRENCHES OR PITS TO COLLECT CONTAMINATED RUNNOFF OR COVER CONTAMINATION WITH TARPS OR OTHER METHODS TO PREVENT ANY CONTACT WITH CONTAMINATED SOILS.

32. THE CONTRACTOR IS RESPONSIBLE FOR ALL NON-SEDIMENT POLLUTION CONTROLS AT THIS SITE, WHICH PROHIBIT NON-SEDIMENT POLLUTANTS FROM DISCHARGING INTO RUNOFF OR INTO THE GROUND AND MUST DISPOSE OF THEM IN A PROPER MANNER IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATORY AUTHORITIES. IT IS PROHIBITED TO BURN, BURY, OR POUR OUT ONTO THE GROUND, DITCH OR INTO A STORM SEWER- SOLVENTS, PAINTS, STAINS, GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, ANTIFREEZE, CEMENT, CURING COMPOUND AND OTHER SUCH TOXIC OR HAZARDOUS WASTE. STORAGE TANKS SHALL BE LOCATED IN DIKED AREAS AWAY FROM DRAINAGE CHANNELS AND THE DIKED AREA SHOULD HOLD A VOLUME OF 110% OF THE LARGEST TRUCK OR TANK. SHOULD THE CONTRACTOR FAIL TO PREVENT NON-SEDIMENT POLLUTION AT THIS SITE, HE MUST IMMEDIATELY REMEDIATE THE SITE TO LOCAL, STATE AND FEDERAL REGULATORY AUTHORITIES APPROVAL AT HIS OWN EXPENSE.

33. CONTRACTOR MAY NOT USE OIL AS A DUST SUPPRESSANT.

CONSTRUCTION FILL, DEMOLITION DEBRIS & CHEMICAL COMPOUNDS

34. THE CONTRACTOR IS RESPONSIBLE TO PREVENT DISCHARGE OF WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS FROM MIXING WITH RUN-OFF AND LEAVING THE SITE. THE CONTRACTOR SHALL SIZE THE CONCRETE WASHOUT PIT TO HANDLE HIS PROPOSED CONCRETE OPERATIONS AND SHALL MAINTAIN THE PIT SUCH THAT ALL CONCRETE TRUCKS CAN USE IT TO WASHOUT. ALL CURED RESIDUE FROM THE PIT SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. A GENERAL LOCATION FOR THE WASHOUT PIT IS SHOWN ON THE PLAN AND MAY BE MOVED TO BETTER FIT THE CONTRACTOR'S METHODS.

35. ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE WILL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE(ORC)3714. MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE (OAC) 3745-20).

36. SOIL EROSION AND SEDIMENTATION BEST MANAGEMENT PRACTICE (BMP) MEASURES WILL BE INSTALLED PRIOR TO START OF ANY CONSTRUCTION AND WILL BE MAINTAINED AT ALL TIMES UNTIL CONSTRUCTION HAS BEEN COMPLETED, INCLUDING ALL GRASS BEING WELL ESTABLISHED AND/OR PERMANENT EROSION AND SEDIMENTATION BMP MEASURES ARE IN PLACE. ALL BMP MEASURES WILL BE INSTALLED TO THE SATISFACTION OF THE LCEO. THE LCEO MAY REQUIRE WORK TO BE STOPPED AND THE STORM DRAINAGE OUTLET TO BE PLUGGED, IF CONDITIONS BECOME UNSATISFACTORY.

37. CONTRACTOR SHALL NOTIFY LCEO THREE (3) DAYS PRIOR TO STARTING CONSTRUCTION FOR PURPOSE OF MONITORING EROSION AND BMP MEASURES.

38. CONTRACTOR IS TO DESIGNATE A SITE DUMP/WASH AREA PRIOR TO STARTING CONSTRUCTION FOR SUCH PURPOSES AS WASHING OUT CONCRETE TRUCKS AND DUMPING NON-HAZARDOUS WASTE MATERIALS, SUBJECT TO THE SUPERVISION OF THE LCEO. DUMPING OR DISCHARGE OF ANY WASTE MATERIALS TO ANY PUBLIC SEWERS OR DITCHES IS PROHIBITED. HAZARDOUS WASTES ARE TO BE REMOVED OFF SITE AND PROPERLY DISPOSED OF CONSISTENT WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.

39. ANY PARTY (TYPICALLY THE GENERAL CONTRACTOR) WHO HAS DAY-TO-DAY OPERATIONAL CONTROL OF ACTIVITIES AT THIS PROJECT, WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE SWP3 FOR THE SITE OR OTHER CONDITIONS AS SET FORTH IN THE PERMIT, MUST FILE A CO-PERMITTEE NOI WITH THE OHIO EPA. THIS IS THE SOLE RESPONSIBILITY OF THE CO-PERMITTEE AND SHALL BE DONE 21 DAYS BEFORE GROUND IS BROKEN.

Storm Water Pollution Prevention Plan (SWPPP)

Project Narrative:

The existing site is located at 8605 Salisbury Road in Monclova Township. The existing parcel is currently an existing church campus. Existing drainage is split with the front part of the site draining north to Salisbury Road, and the rear portion of the site drains South-East to Stone Ditch.

The proposed site is part of a 18.97 acre parcel that houses the existing Redemption Church. The front 7.36 acre drainage area is existing and drains north to an existing detention pond in the front of the property. The proposed project will reconfigure that drainage area to include 6.57 acres. The remaining area will be diverted to the wet pond in the rear of the property. Proposed construction consists of a new 5570 sf accessory building, and supporting site infrastructure. The proposed use of the new building is for special functions that will not take place at the same time as Sunday morning services. The limits of disturbance for the proposed project is 1.12 acres. The existing ponds on site have capacity for the entire site including the proposed improvements without modification.

The proposed impervious area for the front pond will be 136,452 sf or 47.3% of the drainage area. A runoff coefficient for the existing site of 0.16 was used for calculations. A runoff coefficient of 0.54 was calculated for the proposed conditions. Proposed drainage from the site will be piped and then detained and treated in the existing dry pond. Storm water will continue to outlet from the existing pond to the Salisbury Road right of way storm.

The proposed impervious area for the rear pond will be 68,408 sf or 14.4% of the drainage area. A runoff coefficient for the existing site of 0.62 was used for calculations. A runoff coefficient of 0.66 was calculated for the proposed conditions. Proposed drainage from the site will be piped and then detained and treated in the existing wet pond. Storm water will continue to outlet from the existing pond to stone ditch at the rear of the site.

Best Management practices are accomplished by:

- Catch Basins have 2' sumps.
- Water Quality will be treated through a Forebay in the ponds.
- Inlet Filters will be placed around all catch basins within and in the immediate vicinity of the construction limits.
- Silt fence is provided around the site to treat storm water runoff.

The project is expected to begin in fall of 2025 and construction is expected to last 6 months.

Storm Water Inspection shall occur on a weekly basis and within 24 hours of a 1/2" rain or more by qualified inspection personnel. Inspector shall conduct and log inspections using an EPA Standard Inspection Log Sheet. Inspection sheets are available on the EPA website at:

https://www.epa.gov/npdes/construction-general-permit-resources-tools-and-templates#inspection

The SWP3 plans and details shall be available for inspection on site during working hours.

NO.	DATE	BY	DESCRIPTION
1	10/30/2025	JEC	ISSUED FOR PERMITS
2	12/04/2025	JEC	MONCLOVA TOWNSHIP SUBMITTAL

1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43337
TEL: 419 891 2222
FAX: 419 891 1595

PROJECT DATE: 06/11/2025
PROJECT NO: 2500745
DRAWN BY: JEC
CHECKED BY: MJM

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

PREPARED FOR:
REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH
SPECIAL FUNCTION
ACCESSORY BUILDING
8605 SALISBURY ROAD
MONCLOVA, OH 43542

SWPPP NOTES

C620

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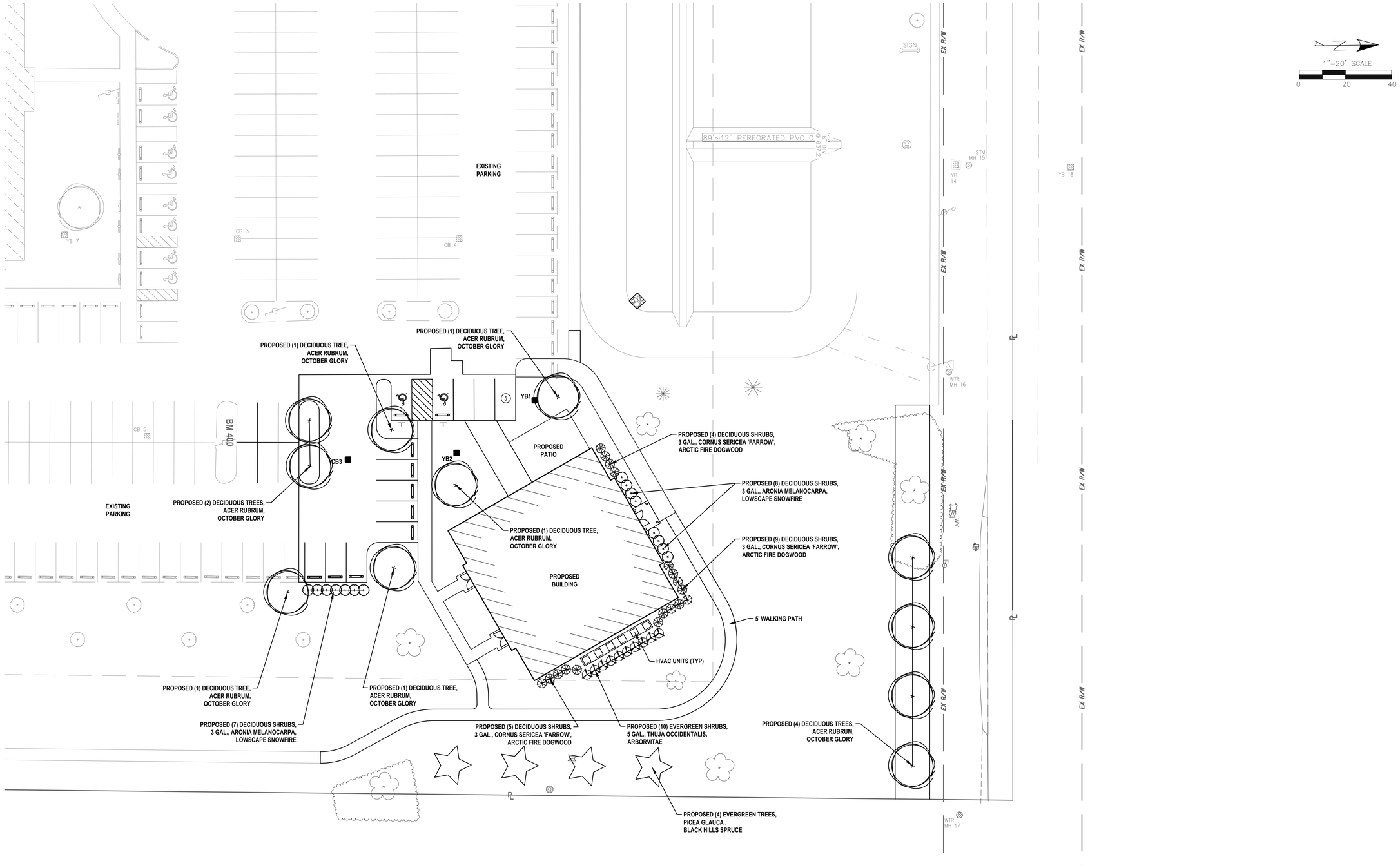

PLANT LIST

Key				Qty.	Botanical Name	Common Name	Minimum Size	Spacing	Mature Height	Spread
		L100		TOTAL						
					TREES					
ACX		11		11	Acer rubrum	October Glory	3" caliper	see plan	35'	40'
PG		4		4	Picea Glauca	Black Hills Spruce	6' min.	see plan	20'-60'	20-25'
					SHRUBS					
AMC		15		15	Aronia melanocarpa	Lowscape Snowfire	3 gal.	4' o.c.	6'	6'
AV		10		10	Thuja occidentalis	Arborvitae	5 gallon	4' o.c.	10'	8'
CF		18		18	Cornus sericea 'Farrow'	Arctic Fire Dogwood	3 gal	4' o.c.	3-4'	3-4'

NO.	DATE	BY	DESCRIPTION
1	10/30/2025	JEC	ISSUED FOR PERMITS
2	12/04/2025	JEC	MONCLOVA TOWNSHIP SUBMITTAL

1800 INDIAN WOOD CIRCLE
MAUMEE, OH 43337
TEL: 419.891.2222
FAX: 419.891.1595

PROJECT DATE: 06/11/2025
PROJECT NO: 2500745
DRAWN BY: JEC
CHECKED BY: MJM

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PREPARED FOR:
REDEMPTION CHURCH
202 WEST MAIN STREET
MASON, OH 45040

REDEMPTION CHURCH
SPECIAL FUNCTION ACCESSORY BUILDING
8605 SALISBURY ROAD
MONCLOVA, OH 43542

ENLARGED LANDSCAPE PLAN

L100

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LANDSCAPING PLANTING NOTES:

THE WORK CONSISTS OF PROVIDING ALL NECESSARY MATERIALS, LABOR, EQUIPMENT, TOOLS & SUPERVISION REQUIRED TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING & COORDINATING WITH ALL PERTINENT UTILITY COMPANIES 3 WORKING DAYS IN ADVANCE OF ANY DIGGING TO FAMILIARIZE THEMSELVES WITH ALL UNDERGROUND UTILITIES, PIPES & STRUCTURES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITIES.

THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH THE CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS &OR GRADE DIFFERENCES EXIST. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE NOTIFICATION. DISCREPANCIES BETWEEN DIMENSIONED LAYOUT & ACTUAL FIELD CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH CONSTRUCTION INSTALLATION OPERATIONS. THE CONTRACTOR SHALL PROVIDE & MAINTAIN POSITIVE SURFACE DRAINAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXISTING MATERIALS DAMAGED DURING CONSTRUCTION.

WARRANTY

THE CONTRACTOR SHALL PROVIDE A ONE-YEAR WARRANTY ON ALL PLANTS, SEEDED AREAS, & VEGETATION INSTALLED WITH THIS PROJECT. ANY TREES, SHRUBS, OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

TOPSOIL

PROVIDE A MINIMUM OF 4" OF SCREENED TOPSOIL IN ALL AREAS TO BE SEEDED. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER. PLANT MIX & TOPSOIL SHALL BE CLEAN OF STONES 1" OR LARGER IN ANY DIMENSION, CLAY CLUMPS, PLANTS, ROOTS, STICKS & OTHER FOREIGN MATERIALS HARMFUL TO PLANT GROWTH. TOPSOIL & PLANT MIX SHALL SUPPORT PLANT GROWTH. ORGANIC CONTENT SHALL BE BETWEEN 4% - 10%. CLAY CONTENT SHALL BE BETWEEN 5%-15%. PH SHALL BE BETWEEN 5.0 & 8.0. FINE GRADE ALL AREAS TO RECEIVE TOPSOIL.

PLANTING AREAS

AREAS SHALL BE FREE OF WEEDS PRIOR TO INITIATION OF PLANTING & SEEDING. IF WEEDS EXIST, SPRAY SITE WITH A NON-SELECTIVE HERBICIDE AS RECOMMENDED & APPROVED BY A LICENSED LANDSCAPE HERBICIDE APPLICATOR. LEAVE PLANTS INTACT FOR AT LEAST 15 DAYS. REPEAT PROCEDURE IF NEW WEEDS APPEAR. GRUB OFF WEEDS TO THE SURFACE. APPLY PLANT MIX TO A DEPTH OF 12" IN ALL SHRUB, PERENNIAL & ANNUAL PLANTING BEDS &6" IN ORNAMENTAL GRASS BEDS. PLANT MIX SHALL CONSIST OF 1/3 TOPSOIL, 1/3 SHARP SAND & 1/3 CERTIFIED COMPOST.

PLANT MATERIALS

REFER TO THE DRAWINGS &PLANTING DETAILS FOR PLANTING REQUIREMENTS, MATERIALS & EXECUTION. IF THERE IS A DISCREPANCY BETWEEN THE DRAWINGS & THE PLANT LIST, THE DRAWINGS SHALL GOVERN. PLANTS DESIGNATED 'B&B' SHALL BE BALLED & BURLAPPED WITH FIRM ROOT BALLS. ALL TREES SHALL HAVE CLAY LOAM OR CLAY ROOT BALLS. TREES WITH SAND ROOT BALLS SHALL NOT BE ACCEPTED.

AN IRRIGATION SYSTEM IS NOT PROPOSED FOR THIS PROJECT. PLANTS SHALL BE NATIVE SPECIES AND/OR DROUGHT RESISTANT AND TREES SHALL BE WATERED ON A WEEKLY BASIS FOR THE FIRST 2 YEARS AFTER PLANTING. WATER BAGS MAY BE UTILIZED TO ASSIST WITH WATERING, HOWEVER THEY SHOULD BE FILLED ON A WEEKLY BASIS.

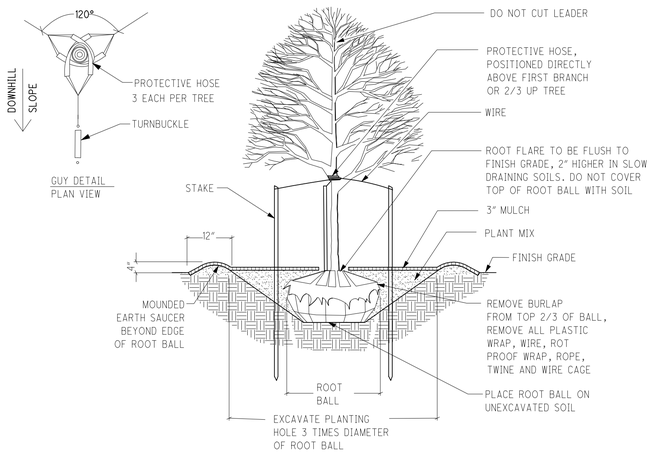
BARK MULCH

MULCH TO BE DOUBLE SHREDDED NATIVE HARDWOOD BARK MULCH, NOT LARGER THAN 1" IN LENGTH, FREE OF WOOD CHIPS & SAWDUST. AFTER PLANTING, PLACE 3" DEPTH OF SINGLE SHREDDED HARDWOOD BARK MULCH AROUND ALL TREES & SHRUBS.

TURF SEEDING/RESTORATION

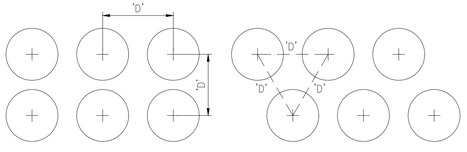
REFER TO SWPPP PLANS FOR SOIL STABILIZATION. ALL DISTURBED AREAS SHALL BE RESTORED TO EQUAL OR BETTER THAN THE PREVIOUS CONDITIONS. THE DISTURBED AREA SHALL BE GRADED SMOOTH & UNIFORM TO PROVIDE A POSITIVE FINISHED GRADE FOR DRAINAGE RUNOFF & SEEDING. SEEDED AREAS SHALL HAVE A MULCH COVER SPREAD & A TACKIFIED ANCHOR APPLIED ON SAME DAY AS SEEDING OCCURS.

NOTES:
STAKES TO EXTEND 18" INTO UNDISTURBED SOIL.
SET STAKES VERTICAL AND AT EQUAL HEIGHT.
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
STAKE TREES UNDER 3" CALIPER - GUY TREES 3" CALIPER & OVER.



DECIDUOUS TREE PLANTING DETAIL

NO SCALE



SPACING "D"	PLANTS REQUIRED PER SQ. FT.
6" o.c.	4.61
12" o.c.	1.15
24" o.c.	.28
36" o.c.	.12
48" o.c.	.07

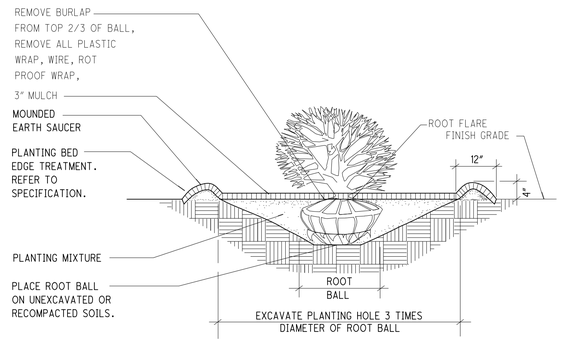
'D' = PLANT SPACING AS INDICATED IN PLANT LIST

CONTRACTOR SHALL USE THIS SPACING CHART TO DETERMINE TOTAL QUANTITIES OF SHRUBS AND GROUNDCOVERS. CONTRACTOR SHALL ROUND TOTAL UP TO NEAREST WHOLE PLANT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL PLANTINGS NECESSARY TO FILL ALL PLANTING AREAS SHOWN ON THE PLANS BASED UPON PLANT SPACES PROVIDED BY THE SPACING DIAGRAM AND CHART. ANY QUANTITIES GIVEN BY THE OWNER OR LANDSCAPE DESIGNER, OR DETERMINED BY THE CONTRACTOR SHALL BE FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH UNDERESTIMATES.

SHRUB AND GROUNDCOVER PLANT SPACING DETAIL

NO SCALE

ALL SHRUBS PLANTED IN ROWS OR MASSES SHALL BE MATCHED IN SIZE AND SHAPE
SET PLANTS AT PROPER DEPTH, ROOT FLARE SHALL BE AT FINISH GRADE



SHRUB PLANTING DETAIL

NO SCALE

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ACCESSORY BUILDING
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MONCLOVA, OH 43542

LANDSCAPE NOTES AND DETAILS

L110

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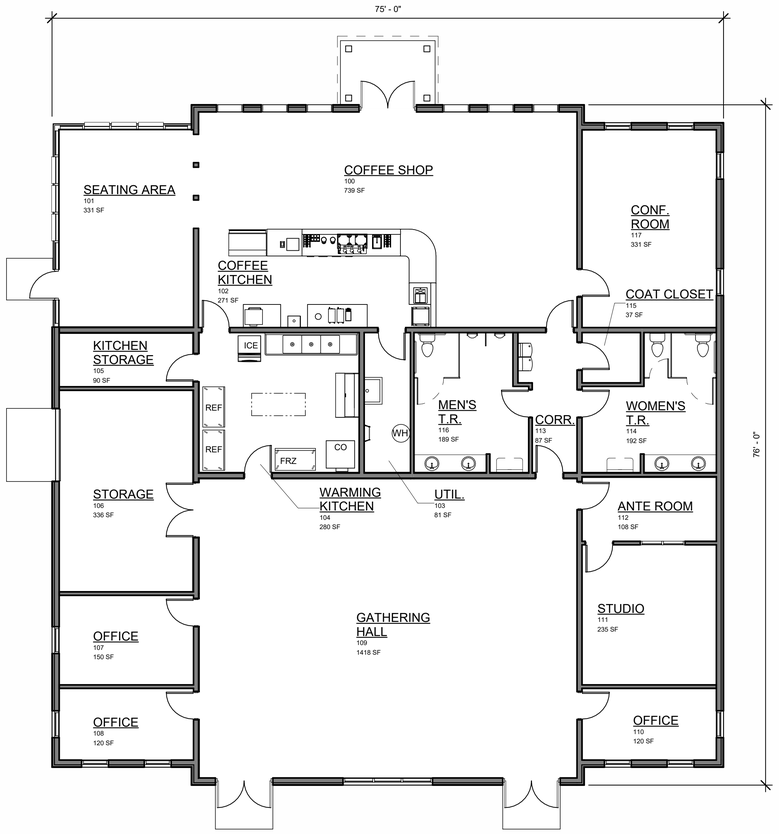
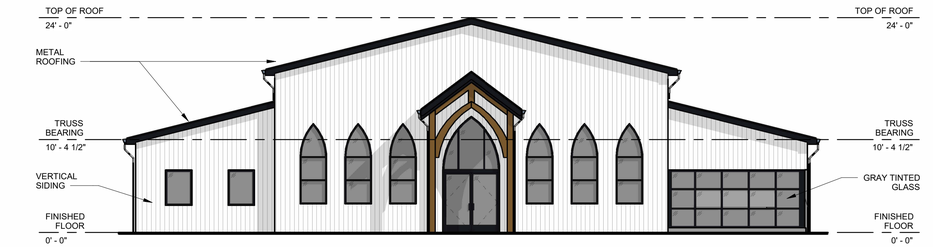


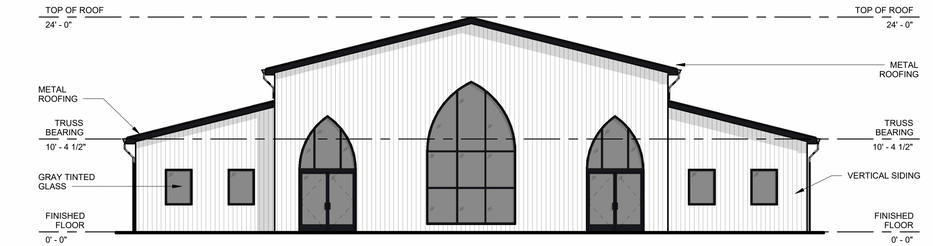
FIRST FLOOR PLAN

1/8" = 1'-0"



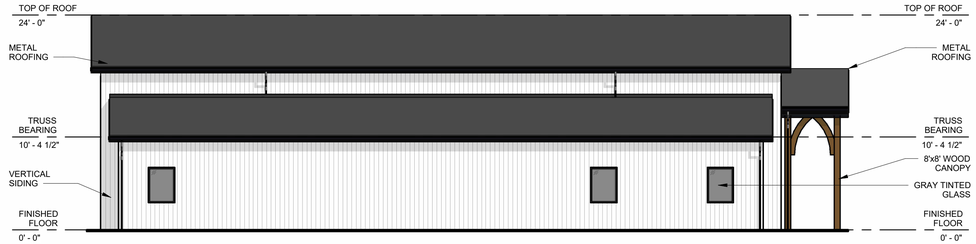
NORTH ELEVATION

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"

WEST ELEVATION

1/8" = 1'-0"

Dwight N. Gilliland #ARC 8507938
Expiration Date 12/31/2025

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GRAPHIC PLAN & ELEVATIONS

PRELIMINARY DESIGN

FELLOWSHIP HALL

8605 SALISBURY ROAD
MONCLOVA, OH 43542

DATE/REVISION:

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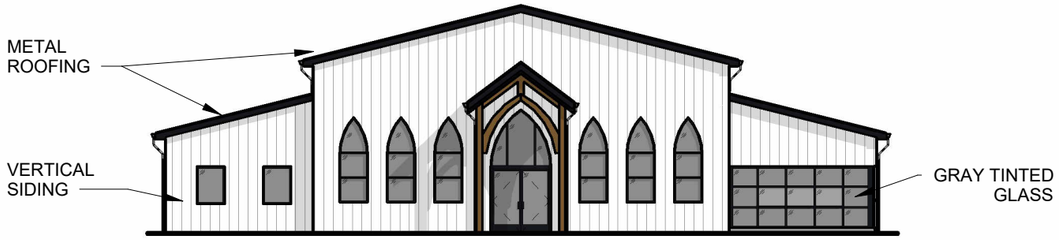
PROJECT NO: 25145
DRAWN BY: J.R.E.
DATE: 07/28/2025
CHECKED BY: D.W.G.

SK-1

DRAWINGS

11/26/2025 11:55:57 AM Z:\ABD\Whitlow\25145 Redemption Church - Fellowship Hall\BIM\25145-WHITLOW FELLOWSHIP HALL.rvt

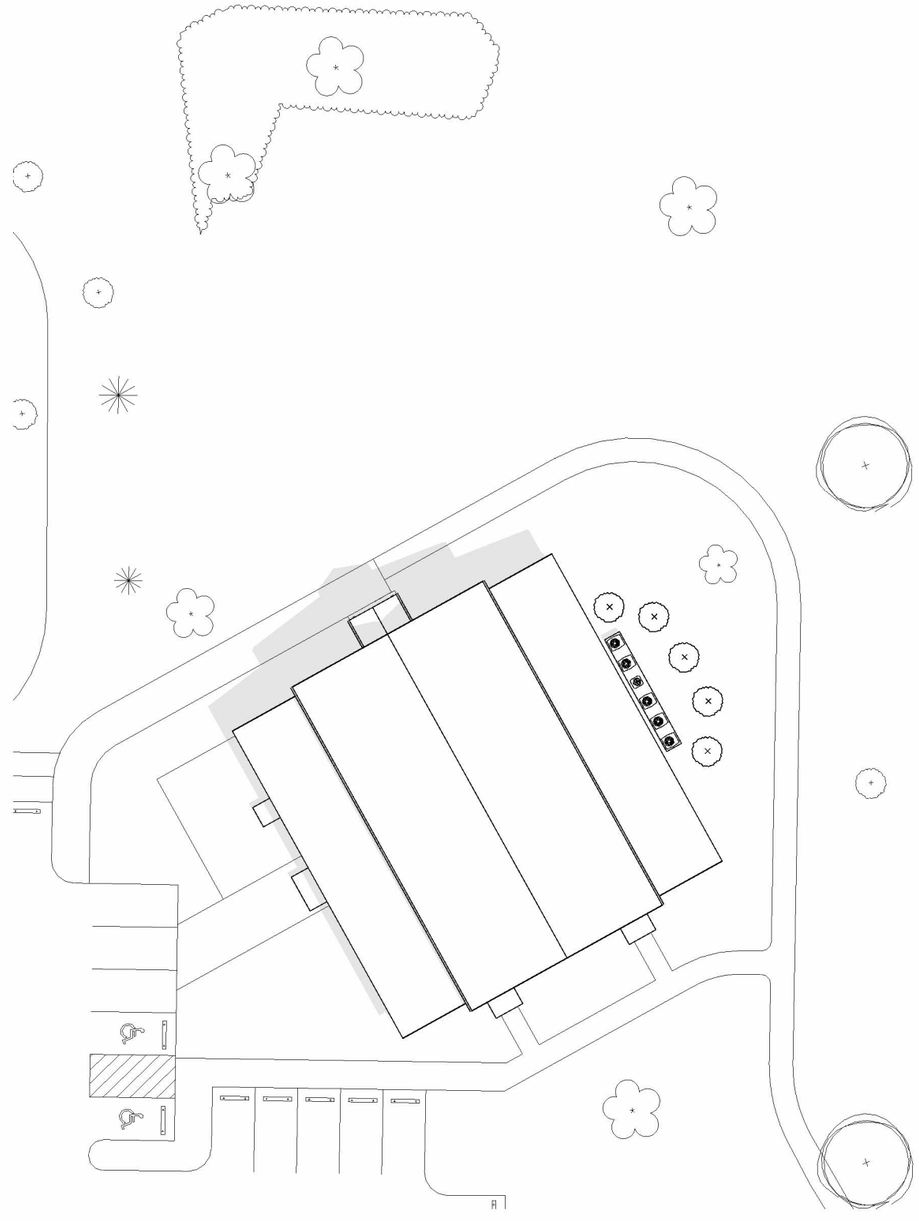


NORTH ELEVATION

1/16" = 1'-0"

MATERIAL SELECTION

PURPOSE	MANUFACTURER	COLOR
METAL ROOFING	PREMIER METALS	BLACK
VERTICAL VINYL SIDING	PROVIA	WHITE (0.050")
DOOR/WINDOW TRIM	MARVIN	EBONY (BLACK)



SITE PLAN

1/32" = 1'-0"

N

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FELLOWSHIP HALL

REDEMPTION CHURCH

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25145 12/12/25