

Monclova Township Board of Zoning Appeals
Meeting Room – 4335 Albon Road
Tuesday, July 22, 2025 5:30 PM

Please turn off cell phones or place on vibrate during this public meeting.

*Township meetings are recorded.
Please refrain from private conversation during the meeting
as recording equipment can be sensitive.*

Member <i>(alphabetical order)</i>	End of Term (5-yr)	2 consecutive terms
Michelle Ross, Chair	February 21, 2026	First Term
Doug Stanton, Vice Chair	February 21, 2029	Second Term
Keith Stewart	February 21, 2028	First Term
Jeffrey Ballmer	February 21, 2027	Second Term
Darrel Limes	February 21, 2030	Second Term

- I. Chair opens the meeting and states the date for our audio record
- II. Pledge of Allegiance to the Flag
- III. Roll call of members
- IV. Chair calls for motion regarding minutes: Move to suspend reading of the June 9, 2025 meeting minutes and approve as submitted by the recording secretary. *Or recommend corrections, and then move to approve with noted modification. Reminder: Need not be present at this past meeting to participate in the vote.*
- V. Public Hearing: Monclova Twp Board of Zoning Appeals has scheduled a public hearing to consider 1.) A Conditional Use to Section 4.2C of the Zoning Resolution. Applicant is requesting approval for the existing home to be used for church offices; and 2.) Approval for two outbuildings on the property to be used for storage for church belongings. Subject property is known as 7759 Monclova Road; parcel #38-04261. Property owner: Monclova Road Baptist Church; Jim Irmen, Esq., Agent
- VI. Adjournment

MONCLOVA TOWNSHIP

INTER-OFFICE

MEMO

To: Board of Zoning Appeals
Cc: Kathleen Kuns
From: Eric Wagner
Date: 7/2/25
Re: Request for Conditional Use at 7759 Monclova Rd.

Monclova Rd. Baptist is asking for a conditional use to allow the existing house on the property to be used for church offices and to allow the two outbuildings on the property to be used for storage for church belongings. The submittal package includes interior photos of the house and the room layout for the house. The package has plans for the large outbuilding and also includes arial photos of the property. The church is currently using the house as office space but has been notified that they need a conditional use permit in order to use the property in conformance with the zoning resolution.

Printable page**PARCEL ID: 3804261**

MARKET AREA: 2711R

MONCLOVA ROAD BAPTIST CHURCH

TAX YEAR: 2025

ASSESSOR#: 23016065

ROLL: RP_OH

7759 MONCLOVA RD

STATUS: Active

Summary - General

Tax District	MONCLOVA TWP.-A. W. LSD, PCVSD
Class	EXEMPT
Land Use	685 : E - CHURCHES ETC PUBLIC WORSHIP
Special Use	511 - 1 FAMILY<10AC
Market Area	2711R - Click here to view map
Zoning Code	17-AR - Click here for zoning details
Zoning Description	Agricultural/Residential
Water and Sewer	CITY WATER / SEPTIC SEWER
Traffic	SECONDARY ROAD
Street Type	CONCRETE OR BLACKTOP
Owner	MONCLOVA ROAD BAPTIST CHURCH
Property Address	7759 MONCLOVA RD MONCLOVA OH 43542
Mailing Address	PO BOX 15 MONCLOVA OH 43542
Legal Desc.	1 5 SE 1/4 ELY 300.04 FT FRT WLY 600 .04 FT FRT THT PT N 105 AC N OF WABASH RR & E OF MONC LOVA VILLAGE
Certified Delinquent Year	
Census Tract	90.03

Summary - Most Recent Sale

Prior Owner	HAMMER GREGORY B & JANET E
Sale Amount	\$667,000
Deed	23100319
Sales Date	20-JAN-2023

Summary - Values

	35% Values	100% Values	35% Roll	100% Roll
Land	42,950	122,700	27,690	79,100
Building	131,530	375,800	92,330	263,800
Total	174,480	498,500	120,020	342,900

Tax Credits

Homestead Exemption	NO
Owner Occupied Credit	YES
CAUV	NO
Agricultural District	NO

Exemption Status

Exemption Type	EX (600 SERIES)
Exemption Status	APPROVED

Transfer Listing

Transfer Date	Price	Trans#	Seller	Buyer	Instrument
20-JAN-2023	\$667,000	23100319	HAMMER GREGORY B & JANET E	MONCLOVA ROAD BAPTIST CHURCH	GW-GENERAL WARRANTY
03-OCT-2001	\$350,000	01108545	CHARTIER CHARLES A & JOSEI M	HAMMER GREGORY B & JANET E	ST-SURVIVORSHIP TENANCY

Transfer Details

1 of 2

Transfer #	23100319
Sales Date	20-JAN-2023
Date of Closing	13-JAN-2023
Sale Amount	\$667,000
Conveyance Fee	2,668.50
Legal Desc.	1 5 SE 1/4 ELY 300.04 FT FRT WLY 600 .04 FT FRT THT PT N 105 AC N OF WABASH RR & E OF MONC LOVA VILLAGE
Acres	4.6000
Number of Parcels	1
Property Address	7759 MONCLOVA RD MONCLOVA OH 43542
Purchaser (Grantee)	MONCLOVA ROAD BAPTIST CHURCH

Seller(Grantor)
Sale Type
Note 1
Note 2

HAMMER GREGORY B & JANET E
LAND & BUILDING

Transfer Cards

PAGE ONE
PAGE TWO

Conveyance Document

VIEW DOCUMENTS

Summary - Values

	35% Values	100% Values	35% Roll	100% Roll
Land	42,950	122,700	27,690	79,100
Building	131,530	375,800	92,330	263,800
Total	174,480	498,500	120,020	342,900

Last Change/Flags

Last Val Chg	23-JAN-2025
Roll Flag	YES
CAUV Value	
Forest Value	0

Value Change History (100%)

Land	Building	Total	Tax Year	Reason	Change Date	Class / Use
122,700	375,800	498,500	2025	REVAL	29-DEC-2024	R / 511
0	0	0	2025	D-EXEMPT	23-JAN-2025	R / 511
122,700	375,800	498,500	2024	D-EXEMPT	23-JAN-2025	E / 685
122,700	375,800	498,500	2024	REVAL	09-SEP-2024	R / 511
0	0	0	2024	D-EXEMPT	23-JAN-2025	R / 511
253,900	97,000	350,900	2021	TRI UPDATE	27-OCT-2021	R / 511
255,300	97,500	352,800	2021	PROPOSED TRI	09-AUG-2021	R / 511
225,500	86,500	312,000	2018	REVAL	13-DEC-2018	R / 511
216,100	82,900	299,000	2018	REVAL	11-OCT-2018	R / 511
216,100	142,700	358,800	2018	REVAL	28-JUN-2018	R / 511
180,100	118,900	299,000	2015	TRI UPDATE	15-OCT-2015	R / 511
180,100	127,800	307,900	2015	TRIENNIAL	13-JUL-2015	R / 511

Value Change History (35%)

Land	Building	Total	Tax Year	Reason	Change Date	Class / Use
42,950	131,530	174,480	2025	REVAL	29-DEC-2024	R / 511
0	0	0	2025	D-EXEMPT	23-JAN-2025	R / 511
42,950	131,530	174,480	2024	D-EXEMPT	23-JAN-2025	E / 685
42,950	131,530	174,480	2024	REVAL	09-SEP-2024	R / 511
0	0	0	2024	D-EXEMPT	23-JAN-2025	R / 511
88,870	33,950	122,820	2021	TRI UPDATE	27-OCT-2021	R / 511
89,360	34,130	123,490	2021	PROPOSED TRI	09-AUG-2021	R / 511
78,930	30,280	109,210	2018	REVAL	13-DEC-2018	R / 511
75,640	29,020	104,660	2018	REVAL	11-OCT-2018	R / 511
75,640	49,950	125,590	2018	REVAL	28-JUN-2018	R / 511
63,040	41,620	104,660	2015	TRI UPDATE	15-OCT-2015	R / 511
63,040	44,730	107,770	2015	TRIENNIAL	13-JUL-2015	R / 511

Value Change History (35%) - Prior to 2014

Land	Building	Total	Year	Reason	Change Date	Class / Use
61,220	43,440	104,660	2012	2012 REVAL	10/20/2012	R/11
27,550	88,170	115,720	2009	TRI-UPDATE	10/31/2009	R/11
30,280	96,880	127,160	2006	2006 REVAL	11/15/2006	R/11
19,880	115,680	135,560	2003	TRI-UPDATE	11/19/2003	R/11
18,240	106,120	124,360	2003	NEW CONST	03/31/2003	R/11
18,240	91,880	110,120	2000	2000 REVAL	10/24/2000	R/11
18,520	64,330	82,850	1997	TRI-UPDATE	10/28/1997	R/11
16,840	58,490	75,330	1994	1994 REVAL	12/01/1994	R/11

Residential Building Information

Occupancy	ONE FAMILY
Wall Type	PART MASONRY
Main Building Story Height	TWO STORY
Max Story Height	TWO STORY
Garage Type	ATTACHED
Attic Type	NONE
Bsmt. Type	FULL
Foundation Type	FULL BASEMENT
Year Built	1986
Base Att	945
Base Bsmt	1,796
SFLA 1st Floor	1,796
SFLA 2nd Floor	1,458
SFLA 3rd Floor	0
SFLA Attic	331
SFLA Basement	0
TLA	3,585
Unfinished Space (included in TLA)	
Rooms	8
Bedrooms	4
Full Baths	3
Half Baths	0
Additional Plumbing Fixtures	2
Prefab Fireplaces	
WB Fireplace Stacks	1
Fireplace Openings	1
Heat/AC	HEAT PUMP OR GEO W/CA
Grade	C-
Condition	3: AVERAGE

Addition Details

Card #	Addition #	Lower	First	Second	Third	Year Built	Area	Grade	CDU
1	0	Full Bsmt	Two Story	No Attic			1,432		
1	1		Garage	Attic-1/2 Finished			945		
1	2	BSMT-Unfin	1 Story Frame				285		
1	3		Open Porch				78		
1	4	BSMT-Unfin	1 Story Frame				49		
1	5	BSMT-Unfin	1 Story Frame				30		
1	6		Open Porch	1 Story Frame			26		

Land Information (See Summary and Details Below)

Line	Land Class	Land Type	Land Code	Square Feet	Acres	Rate
1	-	S-SQUARE FOOT	RESIDENTIAL LAND	43,560	1.0000	
2	-	S-SQUARE FOOT	EXCESS RES/AG ACRES	147,840	3.3939	
3	-	S-SQUARE FOOT	ROFW	9,000	.2066	
4	-	G-GROSS	POND			

Land Totals

Total Calculated Square Feet	200,400
Total Calculated Acres	4.6005

Land Line Summary

Line #	Land Type	Land Code	Square Feet	Acres	Land Units	Actual Frontage	Effective Frontage	Override Rate
1	S-SQUARE FOOT	01 - RESIDENTIAL LAND	43,560	1.0000			300.0	
2	S-SQUARE FOOT	10 - EXCESS RES/AG ACRES	147,840	3.3939			300.0	
3	S-SQUARE FOOT	05 - ROFW	9,000	.2066			300.0	
4	G-GROSS	11 - POND			1.00			

Land Line Details (Use Arrows at Right to View Highlighted Row Information)

1 of 4

Line #	1
Land Type	S-SQUARE FOOT
Land Code	01 - RESIDENTIAL LAND
Square Feet	43,560
Acres	1.0000
Land Units	
Actual Frontage	
Effective Frontage	300.0

Override Size	
Actual Depth	638
Table Rate	3.78
Override Rate	
Depth Factor	1
Influence Factor	
Influence Reason	-
Nbhd Factor	1
Notes	
Roll Pct	

Remarks

Date	Remark
12-OCT-2001	TNN DEED BROUGHT IN TO BERECORDED

General

Permit Number	Permit Date	Amount	SQFT	Purpose	Open/Closed	Rough In Date	Final Inspection Date
FIELD	15-NOV-2002	\$.00		INGR POOL	C		11/15/2002
2002726	23-APR-2002	\$50,000.00		BARN	C		11/15/2002

Details

1 of 2

Permit Number	FIELD
Permit Date	15-NOV-2002
Permit Issued To:	FIELD JMN
Percentage Complete	100
Estimated Cost	\$0
Open/Closed	C-Closed Permit
Year	2003
Inspection Date	15-NOV-2002
Type	INGR POOL
Notes	POOL
Appraiser Code	235

CAUV / Forest / Recoupment

Forest Reduced Value	0
CAUV Reduced Value	0
CAUV Savings	0.00
Recoupment	0.00

Current Taxes

	1st Half	2nd Half
Tax Year 2024:		
General:	9,661.83	9,661.83
House Bill 920:	-4,883.94	-4,883.94
Non-Business Credit:	0.00	0.00
Owner Occupied Credit:	0.00	0.00
Homestead Reduction:	0.00	0.00
Net General:	4,777.89	4,777.89
Adjustment General:	-4,777.89	-4,777.89
Penalty General (see note):	0.00	0.00
Interest General:		
Jan-Aug Int:	0.00	0.00
Sept-Dec Int:	0.00	0.00
Prior General:	0.00	0.00
Prior Years Adjustments:	0.00	0.00
Net Special Assessments:	113.92	113.92
Adjustment Special Assessments:	5.23	5.23
Penalty Special Assessments (see note):	8.95	0.00
Interest Special Assessments:		
Jan-Aug Int:	0.00	0.00
Sept-Dec Int:	0.00	0.00
Prior Years Special Assessments:	0.00	0.00
Prior Years Special Assessments Adjustments:	0.00	0.00
Prior Delinquent Charges		0.00
1st Half Tax, Assessments, and/or Penalty/Interest		128.10
* 1st Half Total Before Payments		128.10
2nd Half Tax, Assessments, and/or Penalty/Interest		119.15

* Full Year Total Before Payments	247.25
** TOTAL PAYMENTS **	0.00
** TOTAL DUE AFTER PAYMENTS **	247.25
Last Change Date:	May 29, 2025
Last Payment Date:	

Notes on Taxes

- Penalties: Under Ohio law, a 10% penalty is automatically imposed when taxes do not show as paid in full as of the due date. If your payment was received prior to the due date but has not yet been applied in AREIS, the penalty will be credited in full and will be adjusted above. Late payments made no later than 10 days after the due date will receive a 5% credit adjustment off the automatic 10% penalty.

- 1st Half Total Before Payments includes 1st half taxes, assessments, any penalty, any interest, and any delinquent amount.

- Full Year Total Before Payments includes 1st and 2nd half taxes, assessments, any penalty, any interest, and any delinquent amount.

-If you have any questions please call 419-213-4406.

Distribution by Authority

Authorities	Percentage	Half	Full
ANTHONY WAYNE LOCAL SCHL. DIST	46.76	\$2,022.18	\$4,044.36
LUCAS COUNTY	24.18	\$1,046.34	\$2,092.68
METRO PARKS	5.19	\$224.59	\$449.18
MONCLOVA TOWNSHIP TD 38	12.82	\$555.07	\$1,110.14
PENTA COUNTY JOINT VOC. SCHOOL	4.58	\$197.65	\$395.30
PORT AUTHORITY	0.32	\$13.80	\$27.60
TOLEDO LUCAS COUNTY LIBRARY	6.15	\$265.91	\$531.82
Total:	100.00	\$4,325.54	\$8,651.08

Special Assessments

Authority	Half	Full
Lucas County	\$119.15	\$238.30
Total:	\$119.15	\$238.30

TOTAL TAXES AND SPECIAL ASSESSMENTS:	\$9,783.62
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The amounts shown on this screen should be considered estimates due to the rounding of percentages.

Prior Taxes

	1st Half	2nd Half
Tax Year 2023:		
General:	6,722.56	6,722.56
House Bill 920:	-2,952.15	-2,952.15
Non-Business Credit:	-308.13	-308.13
Owner Occupied Credit:	-55.99	-55.99
Homestead Reduction:	0.00	0.00
Net General:	3,406.29	3,406.29
Adjustment General:	0.00	0.00
Penalty General (see note):	0.00	0.00
Interest General:		
Jan-Aug Int:	0.00	0.00
Sept-Dec Int:	0.00	0.00
Prior General:	0.00	0.00
Prior Years Adjustments:	0.00	0.00
Net Special Assessments:	108.90	108.90
Adjustment Special Assessments:	0.00	0.00
Penalty Special Assessments (see note):	0.00	0.00
Interest Special Assessments:		
Jan-Aug Int:	0.00	0.00
Sept-Dec Int:	0.00	0.00
Prior Years Special Assessments:	0.00	0.00
Prior Years Special Assessments Adjustments:	0.00	0.00

Prior Delinquent Charges	0.00
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1st Half Tax, Assessments, and/or Penalty/Interest	3,515.19
* 1st Half Total Before Payments	3,515.19
2nd Half Tax, Assessments, and/or Penalty/Interest	3,515.19
* Full Year Total Before Payments	7,030.38
** TOTAL PAYMENTS **	-7,030.38
** TOTAL DUE AFTER PAYMENTS **	0.00
Last Change Date:	Dec 22, 2023
Last Payment Date:	Jul 29, 2024

Authority	Project#	Project	Delinquent	Half	Full	Years Span
Tax Year 2024						
Lucas County	SWF	L.C. STORM WATER DISTRICT/FUND		\$30.83	\$61.66	2011 / 2100
Lucas County	WMD	L.C. WASTE MANAGEMENT DISTRICT		\$2.50	\$5.00	2013 / 2050
Lucas County	MTWC	MONCLOVA TWP WASTE COLLECTION		\$56.16	\$112.32	2018 / 2027
Lucas County	0000	T.A.S.D.-MOSQUITO		\$29.66	\$59.32	1950 / 2050
Total:			\$0.00	\$119.15	\$238.30	

Authority	Project	Delinquent	Half	Full	Years Span
Tax Year 2023					
Lucas County	L.C. STORM WATER DISTRICT/FUND		\$29.36	\$58.72	2011 / 2100
Lucas County	L.C. WASTE MANAGEMENT DISTRICT		\$2.50	\$5.00	2013 / 2050
Lucas County	MONCLOVA TWP WASTE COLLECTION		\$56.16	\$112.32	2018 / 2027
Lucas County	T.A.S.D.-MOSQUITO		\$20.88	\$41.76	1950 / 2050
Total:		\$0.00	\$108.90	\$217.80	

Authority	Project	Delinquent	Half	Full	Years Span
Tax Year 2022					
Lucas County	L.C. STORM WATER DISTRICT/FUND		\$25.86	\$51.72	2011 / 2100
Lucas County	L.C. WASTE MANAGEMENT DISTRICT		\$2.50	\$5.00	2013 / 2050
Lucas County	MONCLOVA TWP WASTE COLLECTION		\$49.44	\$98.88	2018 / 2027
Lucas County	T.A.S.D.-MOSQUITO		\$20.88	\$41.76	1950 / 2050
Total:		\$0.00	\$98.68	\$197.36	

Authority	Project	Delinquent	Half	Full	Years Span
Tax Year 2021					
Lucas County	L.C. STORM WATER DISTRICT/FUND		\$25.86	\$51.72	2011 / 2100
Lucas County	L.C. WASTE MANAGEMENT DISTRICT		\$2.50	\$5.00	2013 / 2050
Lucas County	MONCLOVA TWP WASTE COLLECTION		\$49.44	\$98.88	2018 / 2027
Lucas County	T.A.S.D.-MOSQUITO		\$20.88	\$41.76	1950 / 2050
Total:		\$0.00	\$98.68	\$197.36	

Authority	Project	Delinquent	Half	Full	Years Span
Tax Year 2020					
Lucas County	L.C. STORM WATER DISTRICT/FUND		\$25.86	\$51.72	2011 / 2100
Lucas County	L.C. WASTE MANAGEMENT DISTRICT		\$2.50	\$5.00	2013 / 2050
Lucas County	MONCLOVA TWP WASTE COLLECTION		\$49.44	\$98.88	2018 / 2027
Lucas County	T.A.S.D.-MOSQUITO		\$18.57	\$37.14	1950 / 2050
Total:		\$0.00	\$96.37	\$192.74	

Authority	Project	Delinquent	Half	Full	Years Span
Tax Year 2019					
Lucas County	L.C. STORM WATER DISTRICT/FUND		\$25.86	\$51.72	2011 / 2100
Lucas County	L.C. WASTE MANAGEMENT DISTRICT		\$2.50	\$5.00	2013 / 2050
Lucas County	MONCLOVA TWP WASTE COLLECTION		\$49.44	\$98.88	2018 / 2027
Lucas County	T.A.S.D.-MOSQUITO		\$18.57	\$37.14	1950 / 2050
Lucas County	WATER LINE CONSTRUCTION GRP 28		\$323.84	\$647.68	2000 / 2019
Total:		\$0.00	\$420.21	\$840.42	

Payment Total by Cycle

Year - Half	Total
2023-2	\$3,515.19
2023-1	\$3,515.19
2022-2	\$3,537.69
2022-1	\$3,537.69
2021-2	\$3,466.60
2021-1	\$3,466.60
2020-2	\$3,435.35
2020-1	\$3,435.35
2019-2	\$3,661.32
2019-1	\$3,661.32
2018-2	\$3,646.10
2018-1	\$3,646.10
2017-2	\$3,737.70
2017-1	\$3,737.70
2016-2	\$3,889.84
2016-1	\$3,882.78
2016-	-\$178.16
2015-2	\$3,563.32
2015-1	\$3,563.32
2014-2	\$3,624.14
2014-1	\$3,624.14
2013-2	\$3,639.93
2013-1	\$3,639.93
2012-2	\$3,270.58
2012-1	\$3,270.58
2011-2	\$3,280.22
2011-1	\$3,280.22
2010-2	\$3,164.42
2010-1	\$3,164.42
2009-2	\$3,161.08
2009-1	\$3,161.08
2008-2	\$3,279.33
2008-1	\$3,279.33

Payment Details

Year - Half	Date Paid	Batch #	Seq #	Payment
2023 - 2	29-JUL-2024	1115	451	\$3,515.19
2023 - 1	16-JAN-2024	1128	283	\$3,515.19
2022 - 2	28-JUL-2023	1117	111	\$3,537.69
2022 - 1	24-JAN-2023	1113	90	\$3,537.69
2021 - 2	31-JUL-2022	1115	138	\$3,466.60
2021 - 1	31-JAN-2022	99998	176	\$3,466.60
2020 - 2	30-JUL-2021	99998	346	\$3,435.35
2020 - 1	01-FEB-2021	99998	515	\$3,435.35
2019 - 2	31-JUL-2020	99998	10	\$3,661.32
2019 - 1	31-JAN-2020	99998	11	\$3,661.32
2018 - 2	31-JUL-2019	99998	276	\$3,646.10
2018 - 1	08-FEB-2019	99998	335	\$3,646.10
2017 - 2	25-JUL-2018	1120	4581	\$3,737.70
2017 - 1	19-JAN-2018	1109	582	\$3,737.70
2016 -	12-OCT-2016	1109	413	-\$178.16
2016 - 2	29-SEP-2017	1110	47	\$185.22
2016 - 2	04-AUG-2017	1109	530	\$3,704.62
2016 - 1	31-JAN-2017	1112	2535	\$3,704.62
2016 - 1	12-OCT-2016	1109	413	\$178.16
2015 - 2	08-AUG-2016	1108	33	\$3,563.32
2015 - 1	01-FEB-2016	1124	5449	\$3,563.32
2014 - 2	31-JUL-2015	99988	4565	\$3,624.14
2014 - 1	01-JAN-2015			\$323.84
2014 - 1	01-JAN-2015			\$3,258.79
2014 - 1	01-JAN-2015			\$2.50
2014 - 1	01-JAN-2015			\$14.65
2014 - 1	01-JAN-2015			\$24.36
2013 - 2	31-JUL-2014			\$3,639.93
2013 - 1	31-JAN-2014			\$3,639.93
2012 - 2	31-JUL-2013			\$3,270.58

2012 - 1	30-JAN-2013	\$3,270.58
2011 - 2	31-JUL-2012	\$3,280.22
2011 - 1	31-JAN-2012	\$3,280.22
2010 - 2	29-JUL-2011	\$3,164.42
2010 - 1	31-JAN-2011	\$3,164.42
2009 - 2	30-JUL-2010	\$3,161.08
2009 - 1	01-FEB-2010	\$3,161.08
2008 - 2	31-JUL-2009	\$3,279.33
2008 - 1	30-JAN-2009	\$3,279.33

Pronumber Inquiry

PRO Codes

Loan Company Number
Loan Company Name (*)

(*) Company Responsible for tax escrow account

Mail Code
Address
City
State
Zip
Last Change Date

BOR/Appeal Filings

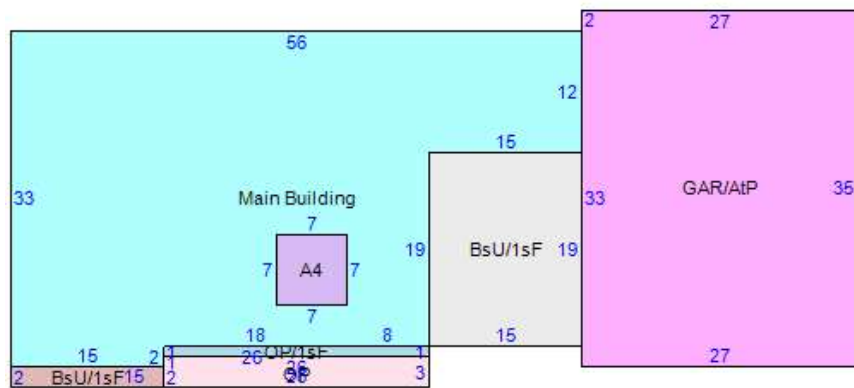
Tax Year	Filing Date	Type	Case #	Status	Value
2018		Revw	201807273		358,800
2015	10-11-2016	Penlt	95127	Closed	299,000
2015	07-29-2015	Revw	201501694	Closed	299,000
2012	07-18-2012	Revw	201282715	Closed	299,000

Case Details

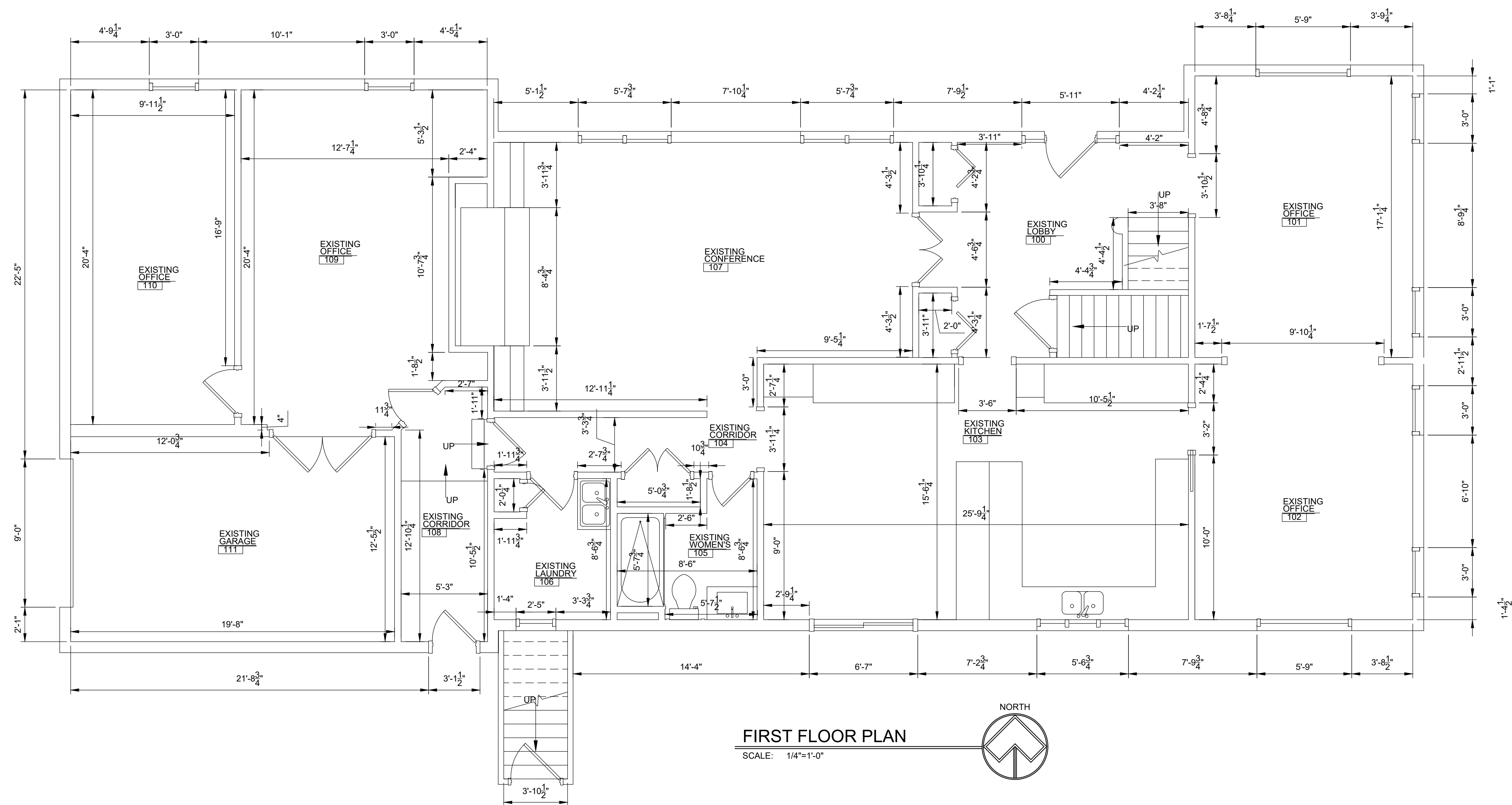
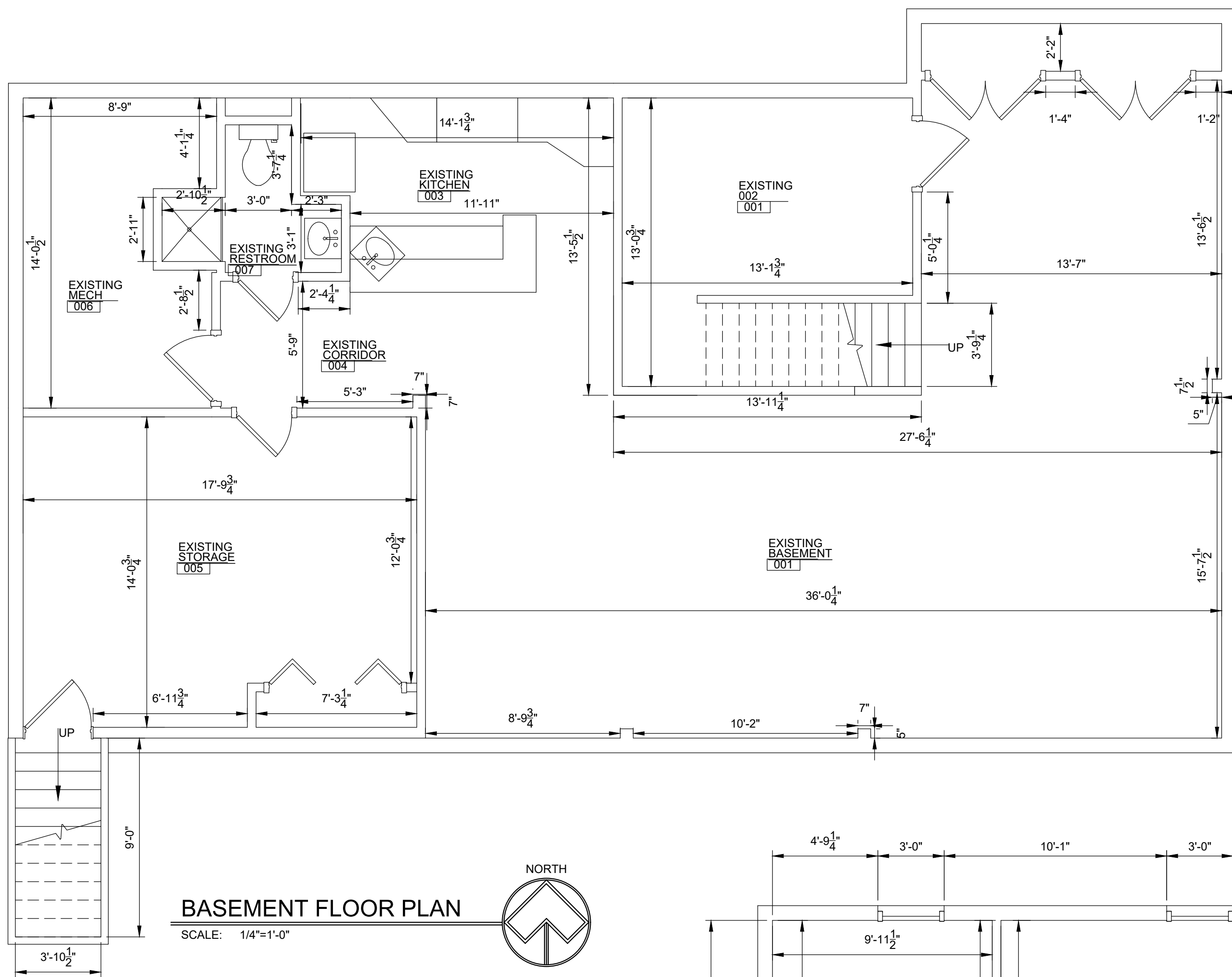
1 of 4

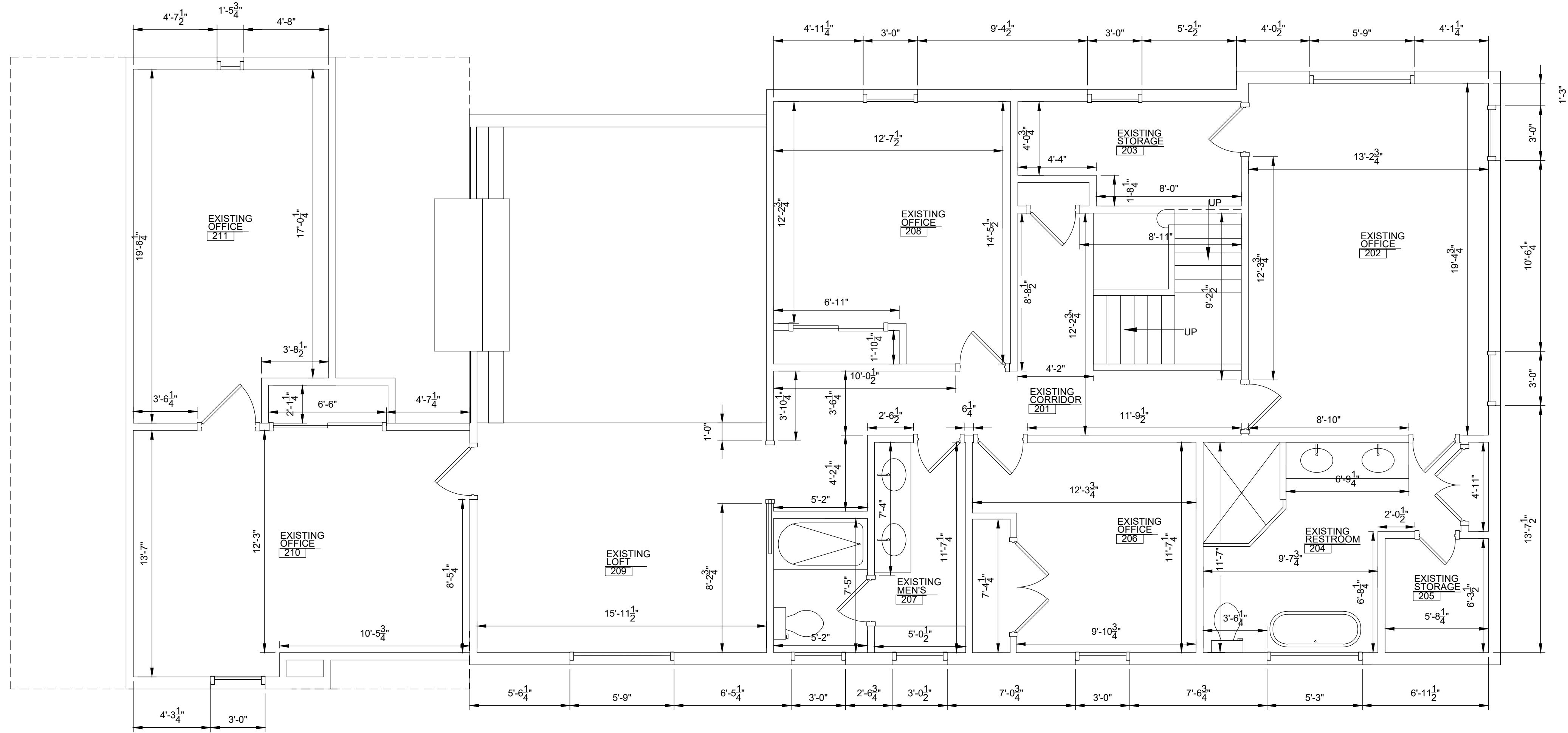
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Action
Reason Other
Hearing Date
Hearing Time
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Decision
Decision Reason
Value 358,800
Appealed





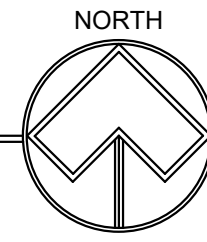
Item	Area
Main Building	1432
GAR/AtP - 40/18:Garage/Attic-1/2 Finished	945
SHED - R - SD1:SHED - RES	384
BsU/1sF - 52/11:BSMT-Unfin/1 Story Frame	285
OTHERBARN - AB7:BARN - OTHER	2400
OP - 30:Open Porch	78
BsU/1sF - 52/11:BSMT-Unfin/1 Story Frame	49
BsU/1sF - 52/11:BSMT-Unfin/1 Story Frame	30
OP/1sF - 30/11:Open Porch/1 Story Frame	26

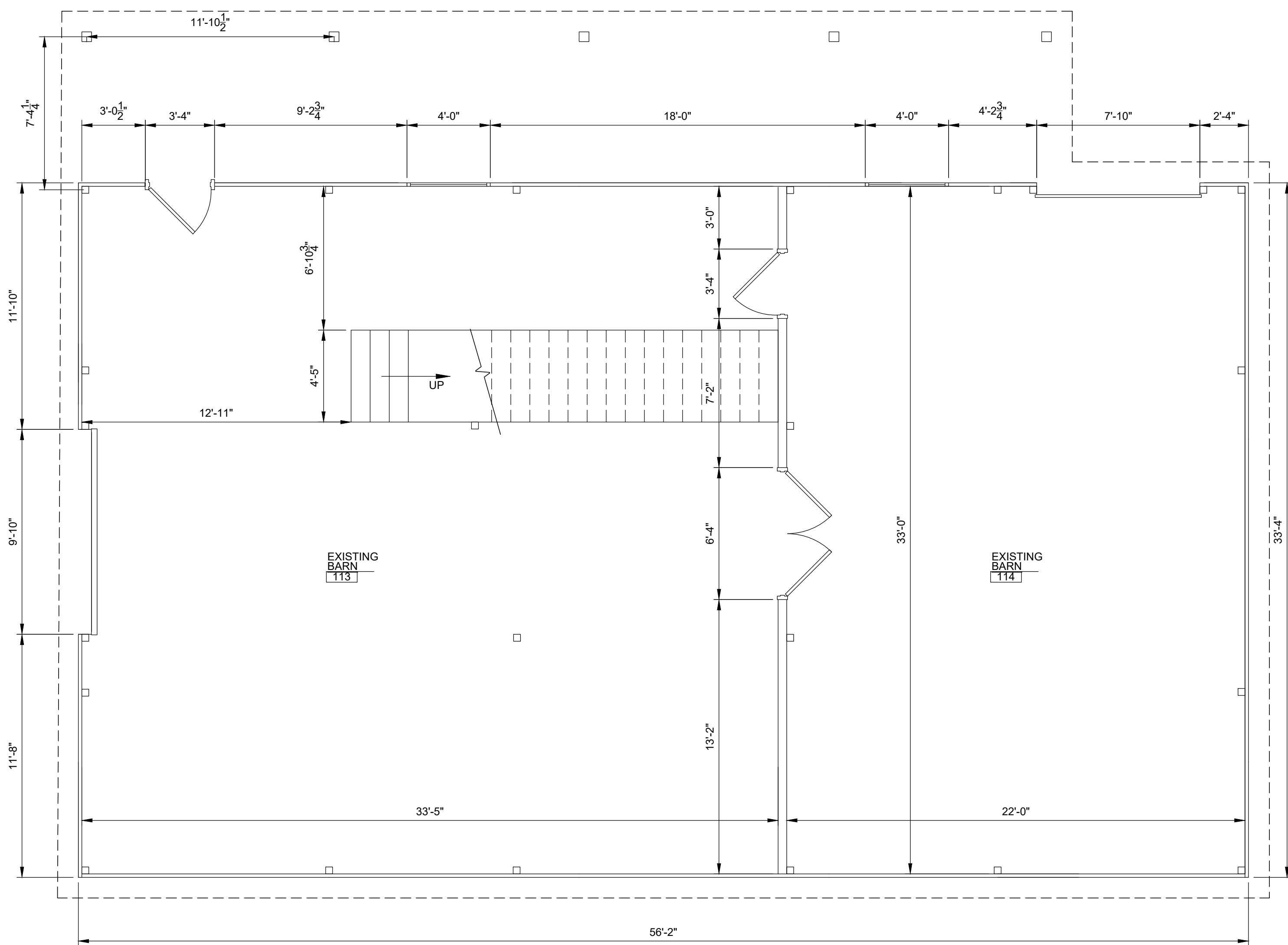




SECOND FLOOR PLAN

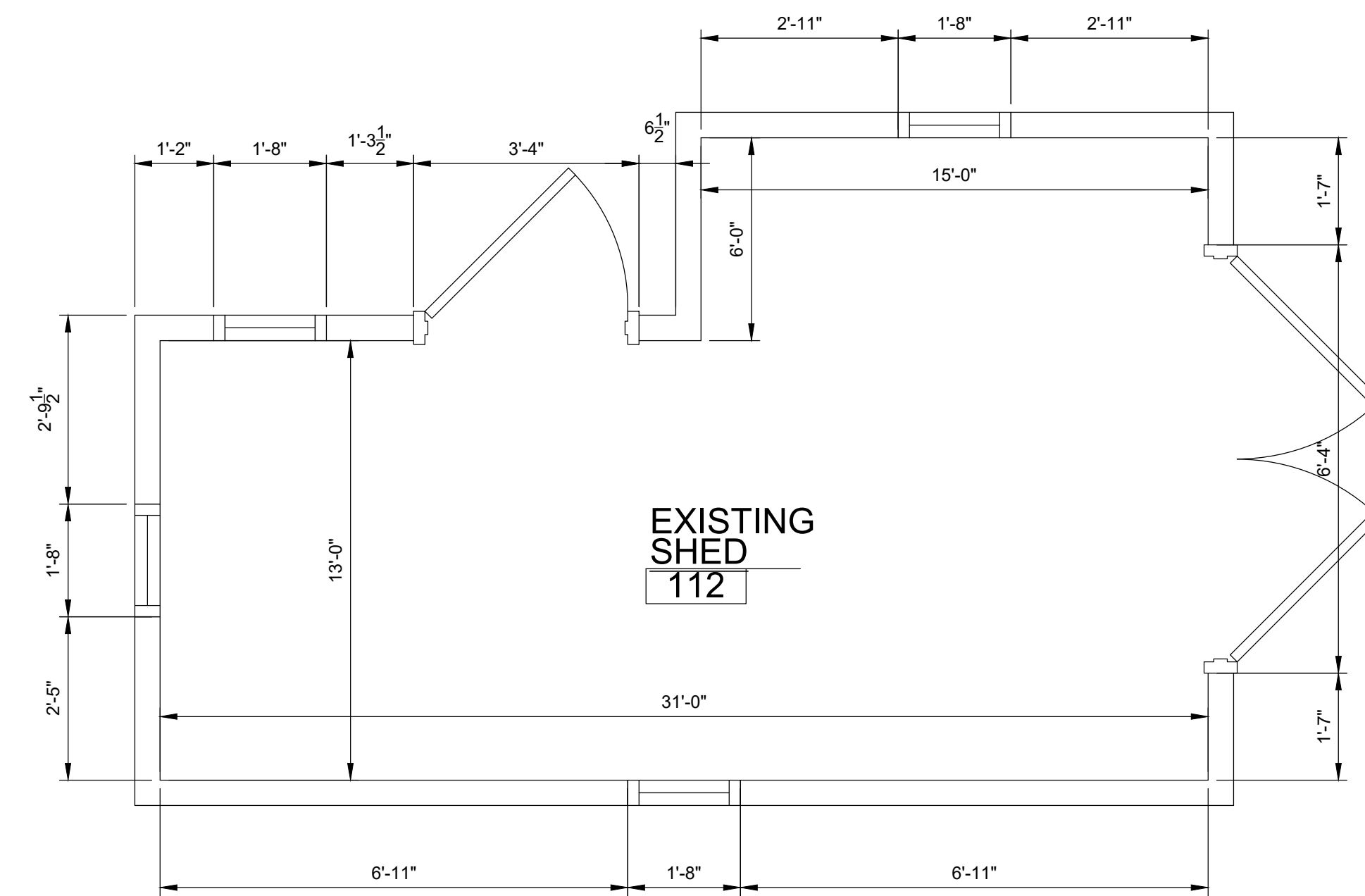
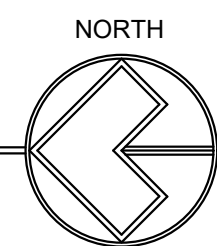
SCALE: 1/4"=1'-0"





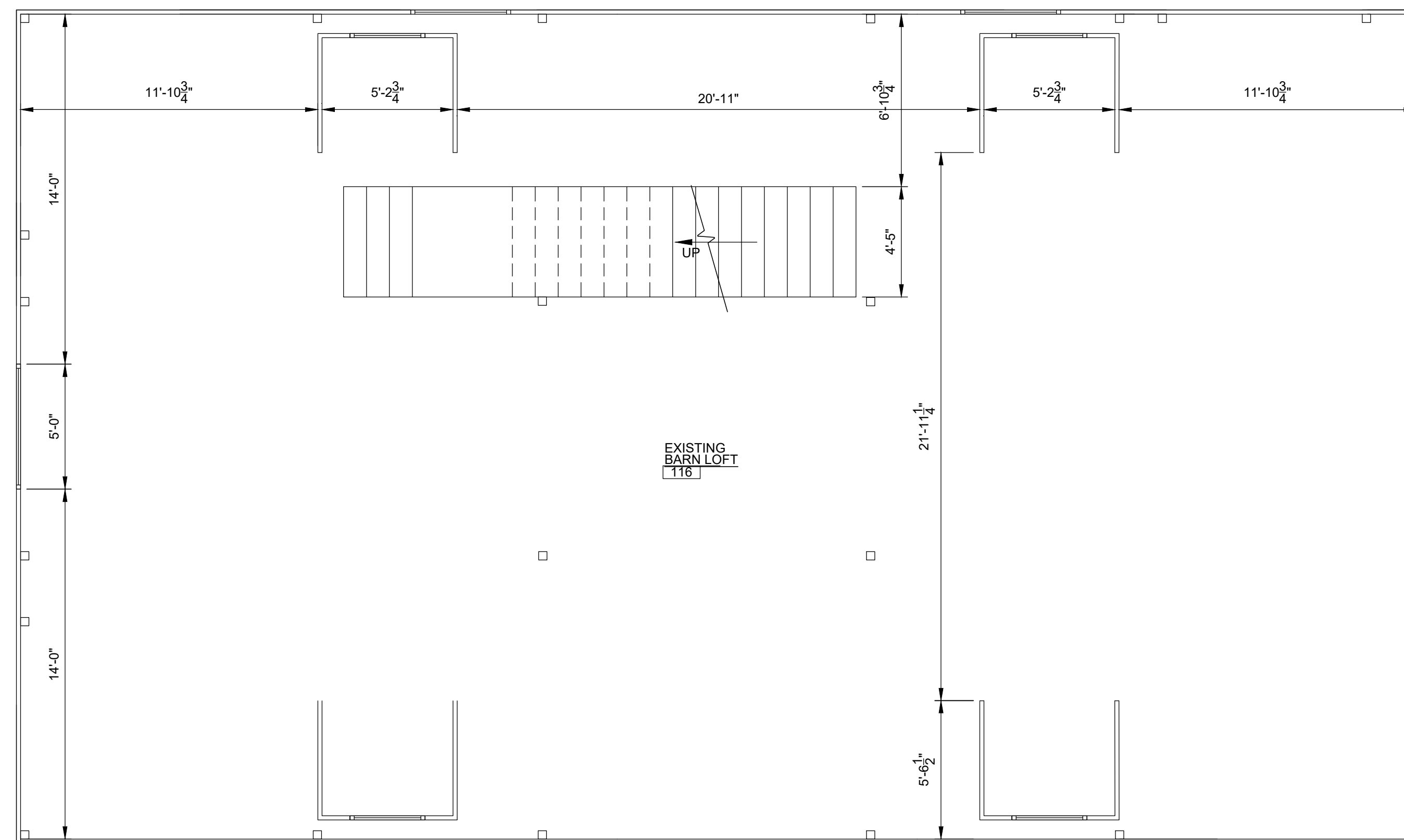
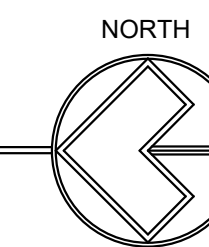
BARN FLOOR PLAN

SCALE: 1/4"=1'-0"



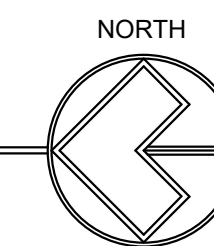
SHED FLOOR PLAN

SCALE: 1/2"=1'-0"



LOFT FLOOR PLAN

SCALE: 1/4"=1'-0"



Site Plan 1



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Site Plan 2



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Site Plan 3



MORTON BUILDINGS GENERAL SPECIFICATIONS

LAMINATED COLUMNS - NO. 1 OR BETTER SOUTHERN YELLOW PINE NAIL LAMINATED 3 MEMBER S4S COLUMNS USED IN MORTON BUILDINGS ARE PRESSURE TREATED BELOW GRADE TO A RETENTION OF .8 POUNDS PER CUBIC FOOT WITH CHROMATED COPPER ARSENATE TYPE III, OXIDE TYPE, AS LISTED IN FEDERAL SPECIFICATION TT-W-571J. THE TREATED PORTION OF THE COLUMN EMBEDDED IN GROUND SHALL BE LAMINATED WITH STAINLESS STEEL NAILS.

FOOTINGS AND ANCHORAGE - COLUMN HOLES ARE DUG 4 FEET DEEP MIN. DEPTH BELOW GRADE AND READY-MIX CONCRETE OR DRY CONCRETE MIX PADS ARE POURED IN PLACE (NOTE PLANS FOR SIZE & TYPE). TWO GALVANIZED STEEL BASE ANCHORS ARE PLACED 1" FROM BOTTOM OF COLUMN OR 1/2" GALVANIZED ROD PLACED 2 1/2" FROM BOTTOM OF COLUMN. ADDITIONAL CONCRETE MIX IS PLACED AROUND BASE OF COLUMN THEN BACKFILLED WITH SOIL COMPACTED AT 8" INTERVALS.

SPLASHBOARDS - SPLASHBOARDS ARE NO. 2 OR BETTER SOUTHERN YELLOW PINE 2"x8" S2S AND CENTER MATCHED, PRESSURE TREATED TO NET RETENTION OF .6 POUNDS PER CUBIC FOOT WITH CHROMATED COPPER ARSENATE TYPE III, OXIDE TYPE, IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS' ASSOCIATION SPECIFICATION C2. ONE ROW IS FURNISHED FOR BUILDING ON A LEVEL SITE.

FRAMING LUMBER - SIDE NAILERS ARE 2"x4" S4S SPF W/2"x3" STIFFENER, 2-2"x4" L-NAILERS SPACED APPROXIMATELY 30" O.C. OR 2"x6" NAILERS APPROXIMATELY 24" O.C. WITH ALL JOINTS STAGGERED AT ATTACHMENT TO COLUMNS. ROOF PURLINS ARE 2"x6" S4S NO. 2 OR BETTER ON EDGE SPACED APPROXIMATELY 24" O.C. ALL OTHER FRAMING LUMBER IS NO. 2 OR BETTER.

ROOF TRUSSES/PLATED RAFTERS - FACTORY ASSEMBLED WITH 18 OR 20 GAUGE GALVANIZED STEEL TRUSS PLATES AS REQUIRED AND KILN DRIED LUMBER AS SPECIFIED. IN-PLANT QUALITY CONTROL INSPECTION IS CONDUCTED UNDER THE AUSPICES OF THE TPI INSPECTION BUREAU. TRUSSES ARE DESIGNED IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS FOR THE STATED LOADING. PLATED RAFTERS ARE NO. 1 SOUTHERN YELLOW PINE.

SIDING PANELS (KYNAR 500/HYLAR 5000) - 0.019" MIN., G90 GALVANIZED OR AZ55 GALVALUME, WITH AN ADDITIONAL BAKED-ON KYNAR 500/HYLAR 5000 FINISH. PAINT IS NOM. 1 MIL THICK ON EXTERIOR.

ROOFING PANELS (FLUOROFLEX 2000 (TM)) - 0.019" MIN., AZ55 GALVALUME WITH AN ADDITIONAL BAKED-ON THICK POLYURETHANE PRIMER AND KYNAR 500/HYLAR 5000 TOPCOAT WITH A TOTAL MINIMUM PAINT THICKNESS OF 2 MILS.

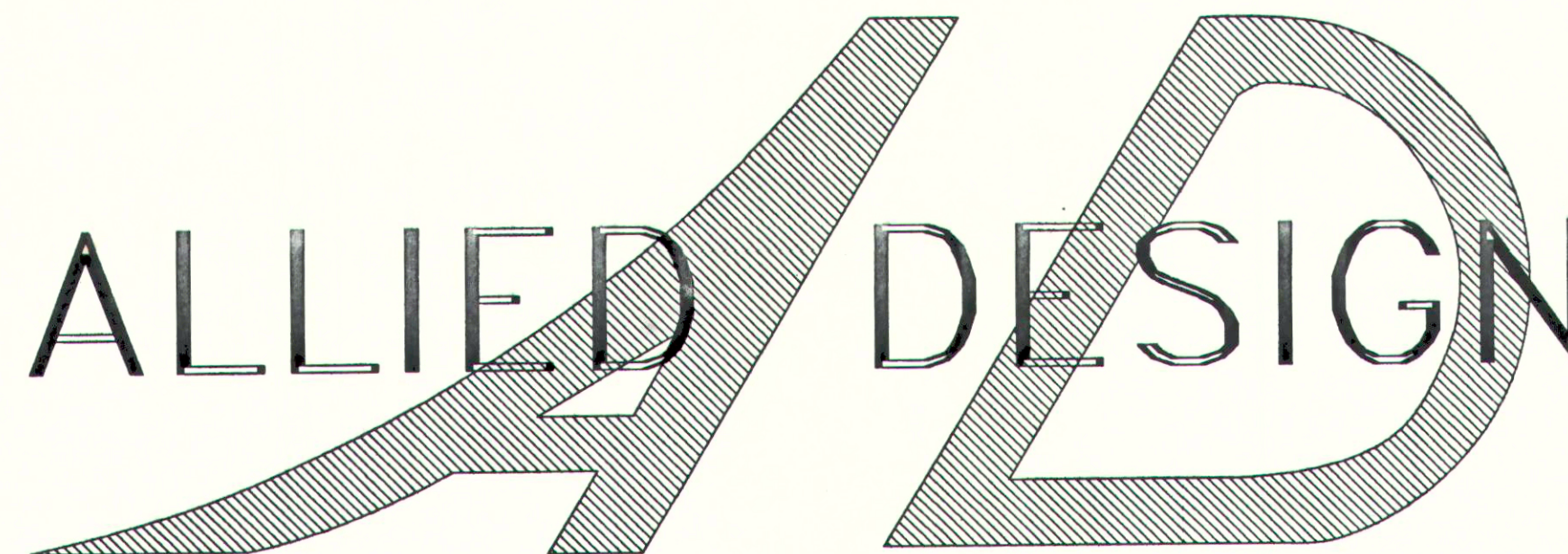
TRIM - DIE-FORMED TRIM OF 0.019" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL ON GABLES, RIDGES, CORNERS, BASE, WINDOWS, AND DOORS WITH SAME FINISH AS ROOFING OR SIDING PANELS.

GUTTERS - 5" K-STYLE, .030 HIGH TENSILE ALUMINUM GUTTER, KYNAR 500/HYLAR 5000 FINISH TO MATCH TRIM, ON BOTH SIDES OF THE BUILDING.

ADDITIONAL NOTES

- 1.) ALL PLOT PLANS AND RELATED DETAILS SHALL BE PROVIDED BY OWNER UNLESS INCORPORATED AS PART OF THESE DRAWINGS.
- 2.) ALL INTERIOR PARTITIONS AND ROOM FINISHES IF NOT INCLUDED WITH THESE DRAWINGS SHALL BE PROVIDED BY OWNER. STANDARD FINISHES SHALL HAVE LESS THAN 200 FLAME SPREAD RATING AS REQUIRED BY ASTM E84 FOR ORDINARY CONDITIONS AND 25 OR LESS FOR EXITS, PASSAGEWAYS, AND CORRIDORS.
- 3.) FLOOR COVERINGS JUDGED TO REPRESENT AN UNUSUAL HAZARD SHALL MEET THE SAME TESTING PROCEDURES AS REQUIRED FOR WALL AND CEILING FINISHES.
- 4.) MORTON BUILDINGS GENERAL SPECIFICATIONS APPLY UNLESS INDICATED DIFFERENTLY ON SPECIFIC JOB DRAWINGS OR SUPPLEMENTAL INFORMATION.
- 5.) KYNAR 500 IS A REGISTERED TRADEMARK OF ELF ATOCHEM NORTH AMERICA, HYLAR 5000 IS A TRADEMARK OF AUSIMONT, USA.

CS2x6FK 10-00



BUILDING DESIGN CRITERIA	
USE GROUP	U
CONSTRUCTION TYPE	VB
LIVE ROOF LOAD DESIGN	20 PSF
WIND SPEED (V _{3s})	90 MPH
BUILDING CODE	OBC 2002
FLOOR AREA	1,920 SQ. FT.
GROUND SNOW LOAD	20 PSF

SHEET INDEX	
SHEET #	DESCRIPTION
1 OF 6	SPECIFICATIONS & SHEET INDEX
2 OF 6	COLUMN PLAN
3 OF 6	ELEVATIONS
4 OF 6	SECTION & DETAIL
5 OF 6	SECTIONS
6 OF 6	DETAILS

TYPICAL LUMBER SPECIFICATIONS - 1997 NDS		
SIZE	DESCRIPTION	BENDING VALUE F _b
2"x4"	NO.1&2 SPF	1313 PSI
2"x4"	2100f MSR SPF	2100 PSI
2"x6"	NO.1&2 SPF	1138 PSI
2"x6"	NO. 1 SYP	1650 PSI
2"x8"	NO. 1 SYP	1500 PSI
2"x10"	NO. 1 SYP	1300 PSI
2"x12"	NO. 1 SYP	1250 PSI
ALL	1950f MSR SYP	1950 PSI
1 1/2"x16"	LAMINATED VENEER LUMBER	2800 PSI
3 1/2"x15"	GLU-LAM	1650 PSI
5 1/4"x16 1/2"	GLU-LAM	2400 PSI
5 1/4"x19 1/2"	GLU-LAM	2400 PSI

NOTE: HIGHER GRADE MATERIAL REQUIRED AS NOTED ON PLANS.

I HEREBY CERTIFY THAT THE STRUCTURAL DESIGN FOR THIS BUILDING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED/REGISTERED PROFESSIONAL ENGINEER.

RONALD L. SUTTON, P.E.
MICHAEL L. MCCORMICK P.E.
DATE: 4-26-02 REG. #: 41756

OFFICE: ADRIAN, MI
JOB NO. 60-1464

GREGG HAMMER
MONCLOVA, OH

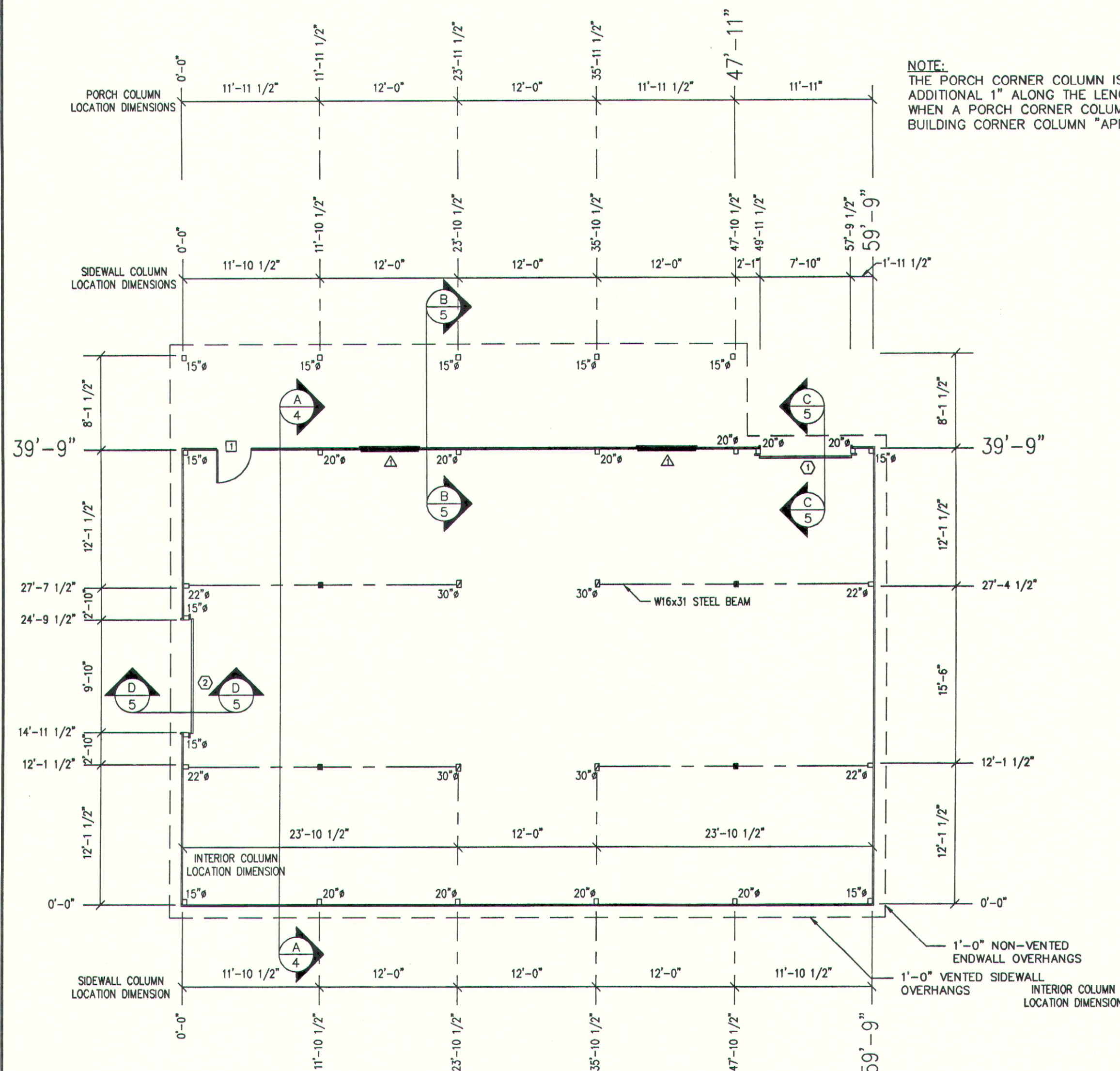
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
PHONE NUMBER: 309-263-4105

DRAWN BY: EH840
DATE: 2-20-02
CHECKED BY: JS
DATE: 4-25-02
REVISED DATE:
REVISED DATE:
REVISED DATE:
REVISED DATE:

SCALE:
SHEET NO.
1 OF 6

GREGG HAMMER
MONCLOVA, OH.

ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
PHONE NUMBER: 309-263-4105



COLUMN PLAN

SCALE: 1" = 4' 16'

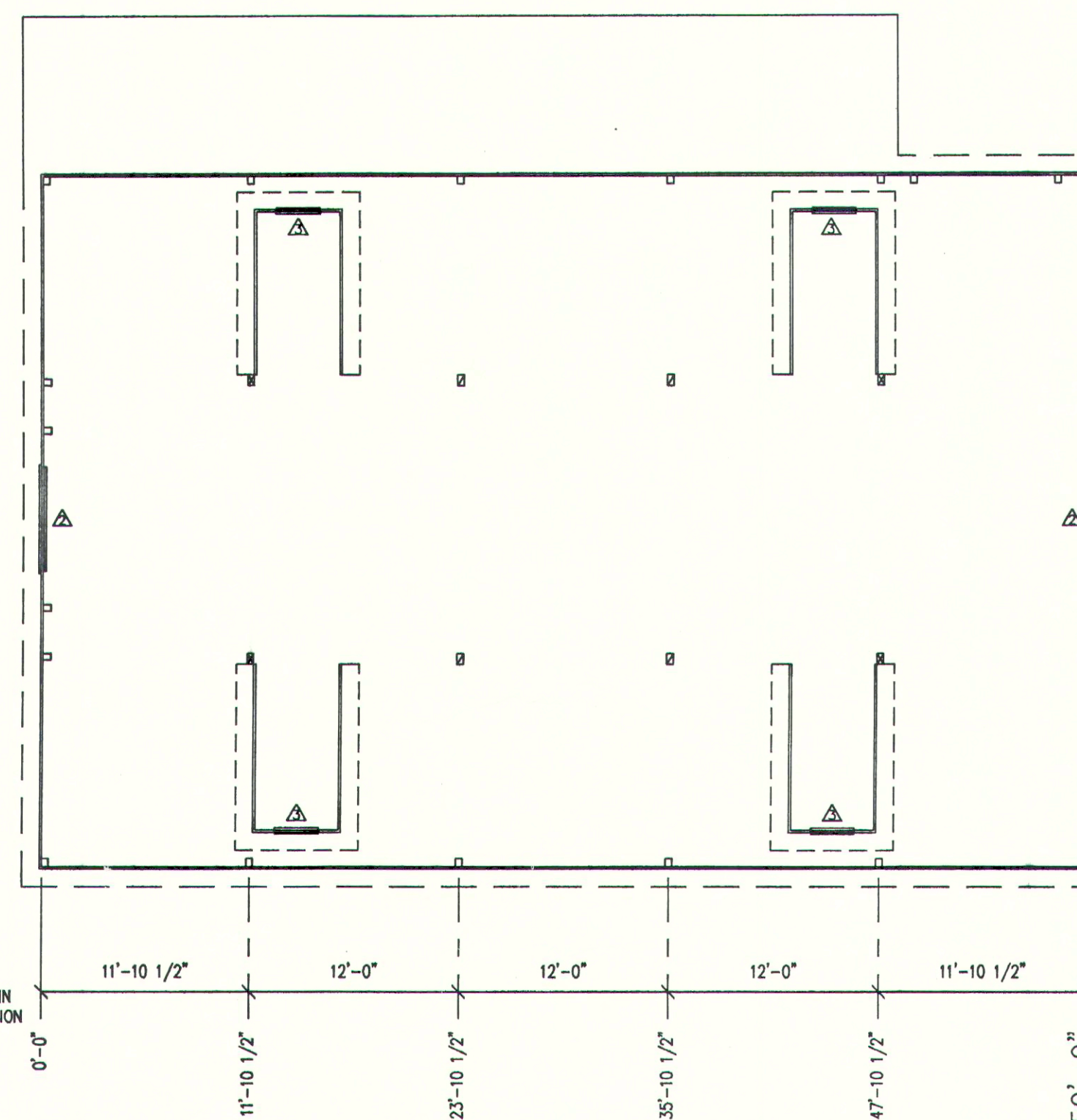
COLUMN PLAN LEGEND

- - 3-2"x6" LAMINATED COLUMN LOCATION
- - 3-2"x8" LAMINATED COLUMN LOCATION
- - 3-2"x8" LAMINATED STUB COLUMN LOCATION
- - HEADERED RAFTER LOCATION
- - 3068 9100 9-LITE WALK DOOR W/CROSSBUCKS & LOCKSET
- △ - (2) 5'x4' WINDOWS
- △ - (2) 6'x5' WINDOWS
- △ - (4) 3'x3' WINDOWS IN 5'x4' AWNING DORMERS
- ① - 8'x8' RAYNOR OVERHEAD DOOR W/HI-LIFT TRACK
- ② - 10'x10' OVERHEAD DOOR W/LOW HEADROOM TRACK, CEDAR CROSSBUCKS, & ELEC. OPERATOR
- (2) 2'-6"x2'-6" NON-FUNCTIONAL CUPOLAS
- 1/2" HEAVY DUTY THERMAX INSULATION IN ROOF ONLY
- 15"φ - 15" DIAMETER FOOTING WITH 8" THICK READI-MIX CONCRETE PAD. PLACE A MINIMUM OF 8" READI-MIX CONCRETE AROUND COLUMNS WHEN SETTING.

- 20"φ - 20" DIAMETER FOOTING WITH 8" THICK READI-MIX CONCRETE PAD. PLACE A MINIMUM OF 8" READI-MIX CONCRETE AROUND COLUMNS WHEN SETTING.
- 22"φ - 22" DIAMETER FOOTING WITH 9" THICK READI-MIX CONCRETE PAD. PLACE A MINIMUM OF 8" READI-MIX CONCRETE AROUND COLUMNS WHEN SETTING.
- 30"φ - 30" DIAMETER FOOTING WITH 12" THICK READI-MIX CONCRETE PAD. PLACE A MINIMUM OF 10" READI-MIX CONCRETE AROUND COLUMNS WHEN SETTING.

ROUGH OPENING SCHEDULE		
UNIT SYMBOL FROM LEGEND	WIDTH	HEIGHT
①	37 3/4"	80 3/4"
△	VERIFY	VERIFY
△	VERIFY	VERIFY
△	VERIFY	VERIFY

NOTE: IDENTIFIES ITEMS THAT ARE NOT PROVIDED BY MORTON BUILDINGS, INC. OR MORTON BUILDINGS' SUBCONTRACTORS AND ARE THE OWNERS RESPONSIBILITY.



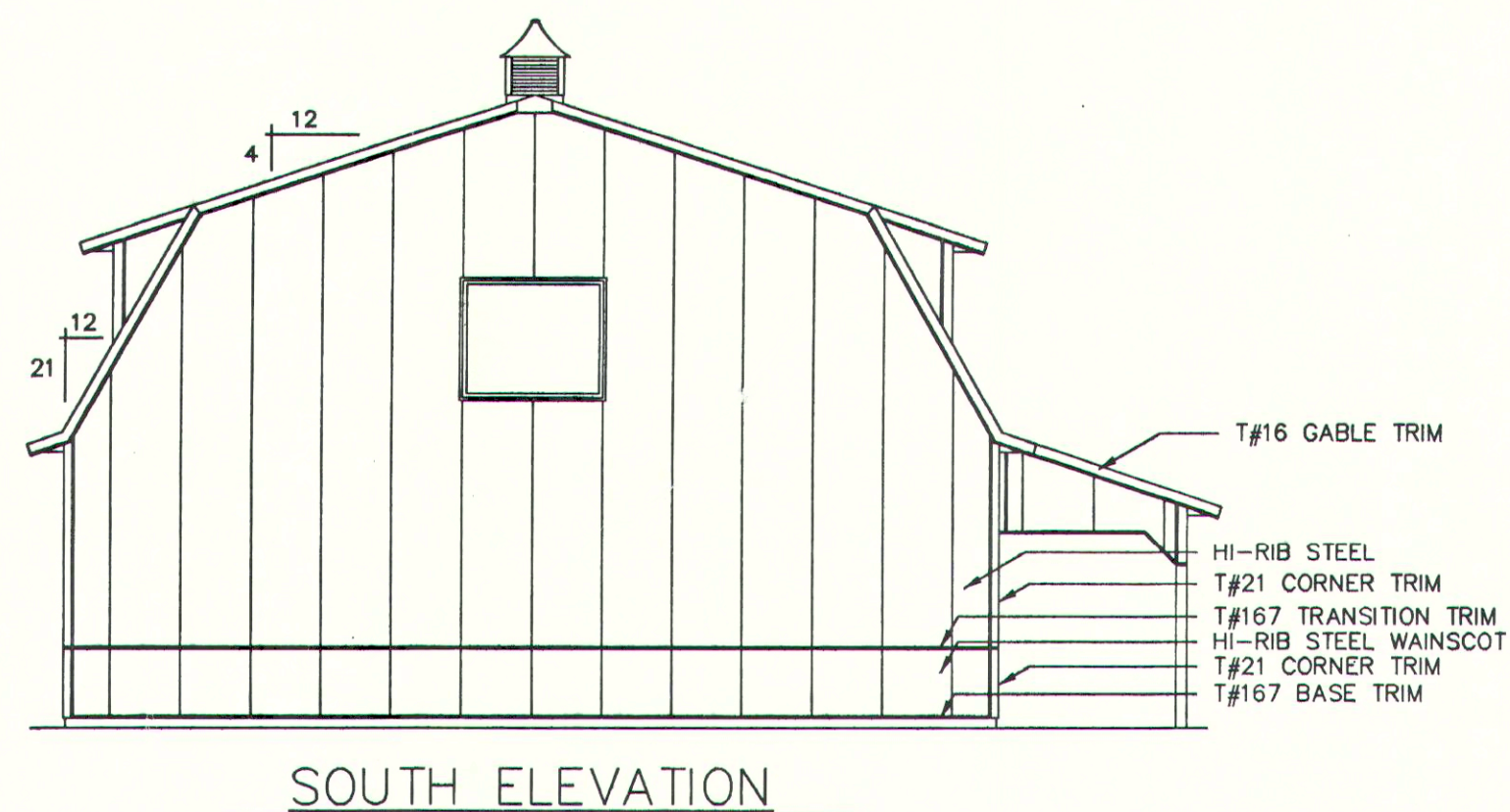
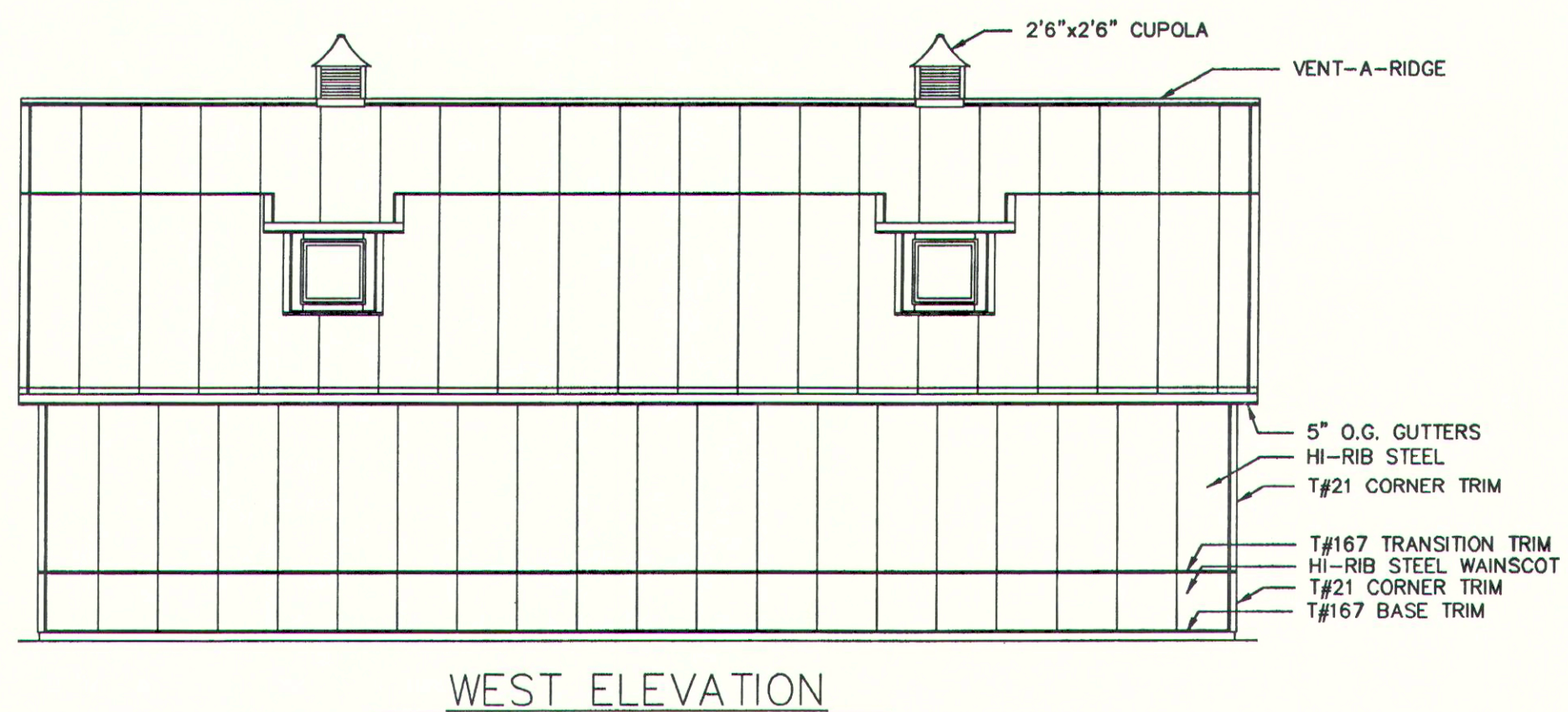
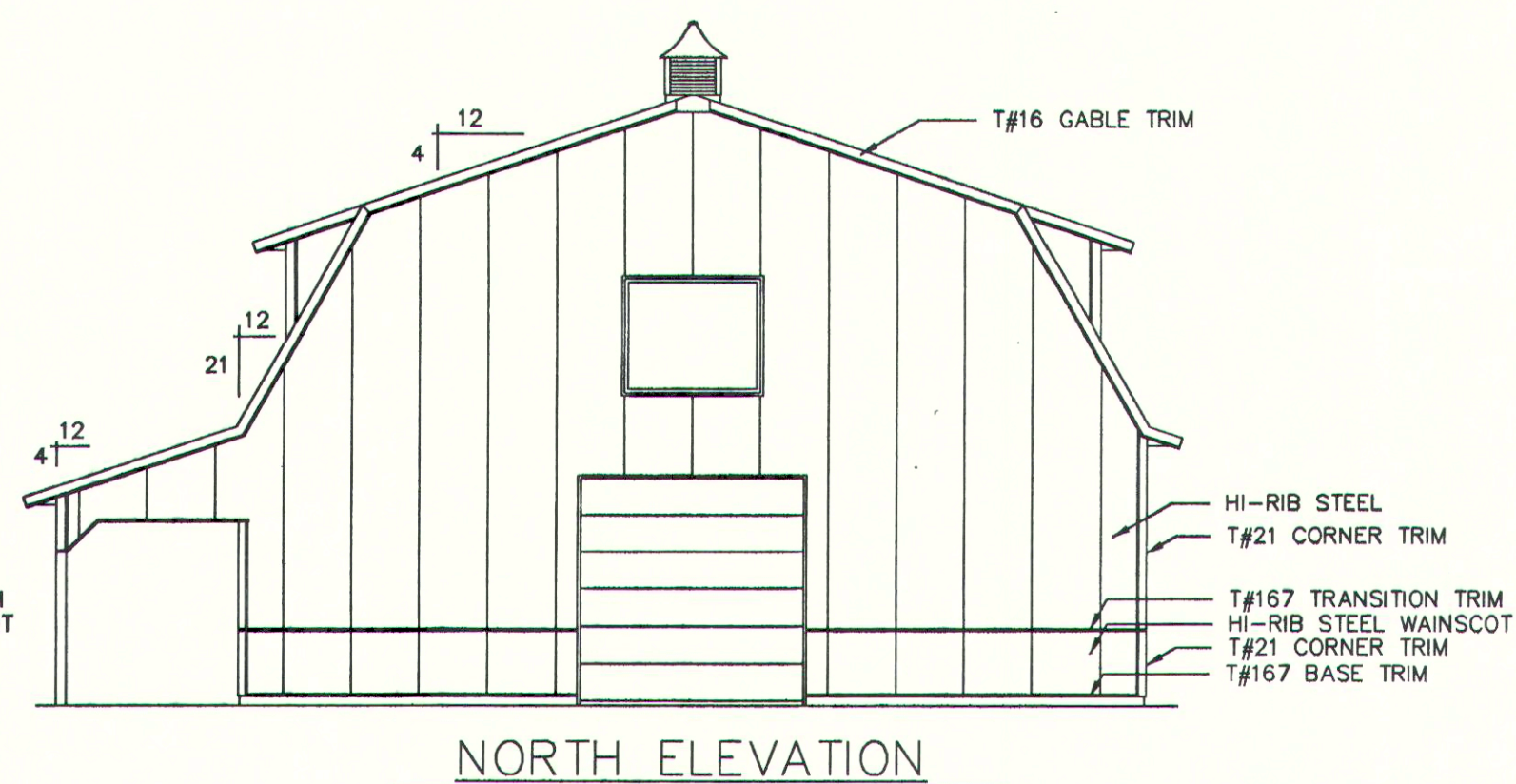
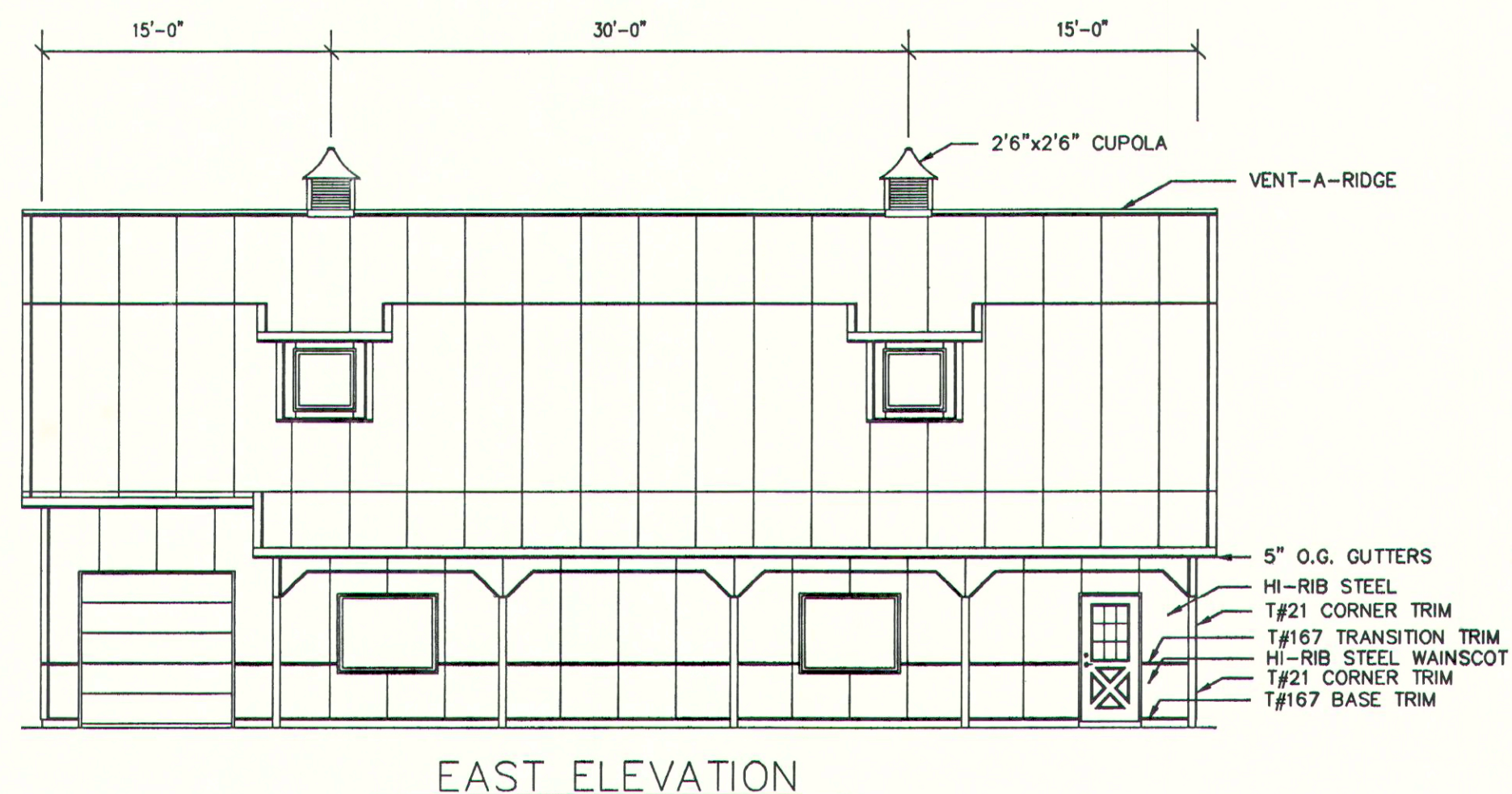
LOFT PLAN

DRAWN BY:	EH840
DATE:	2-20-02
CHECKED BY:	
DATE:	
REVISED DATE:	4-25-02
REVISED DATE:	
REVISED DATE:	

SCALE: AS NOTED
SHEET NO. 2 OF 6

GREGG HAMMER
 MONCLOVA, OH

ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
 100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
 PHONE NUMBER: 309-263-4105



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DATE:	2-20-02
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REVISED DATE:	
REVISED DATE:	

Ronald L. Juttner
 4-26-02

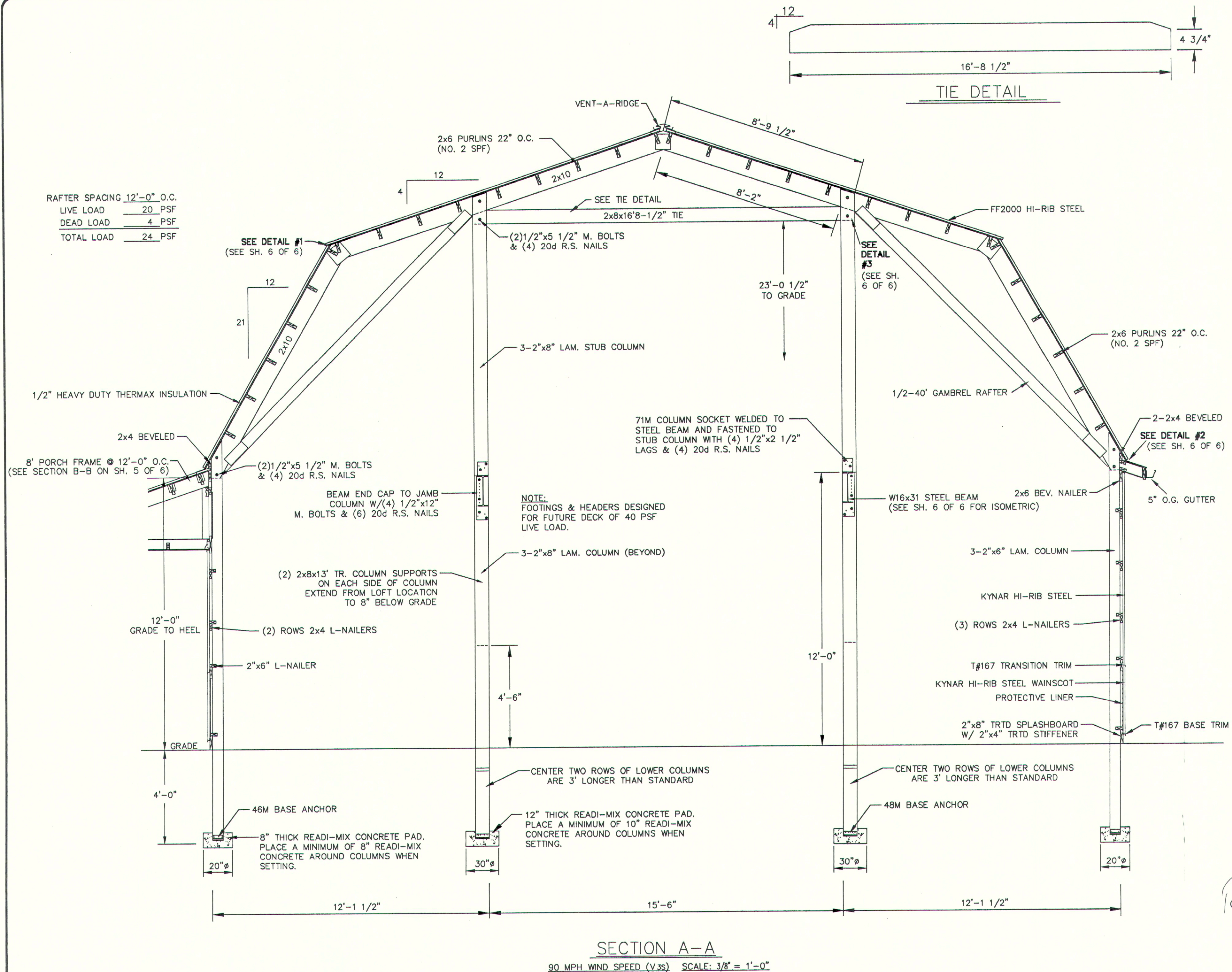
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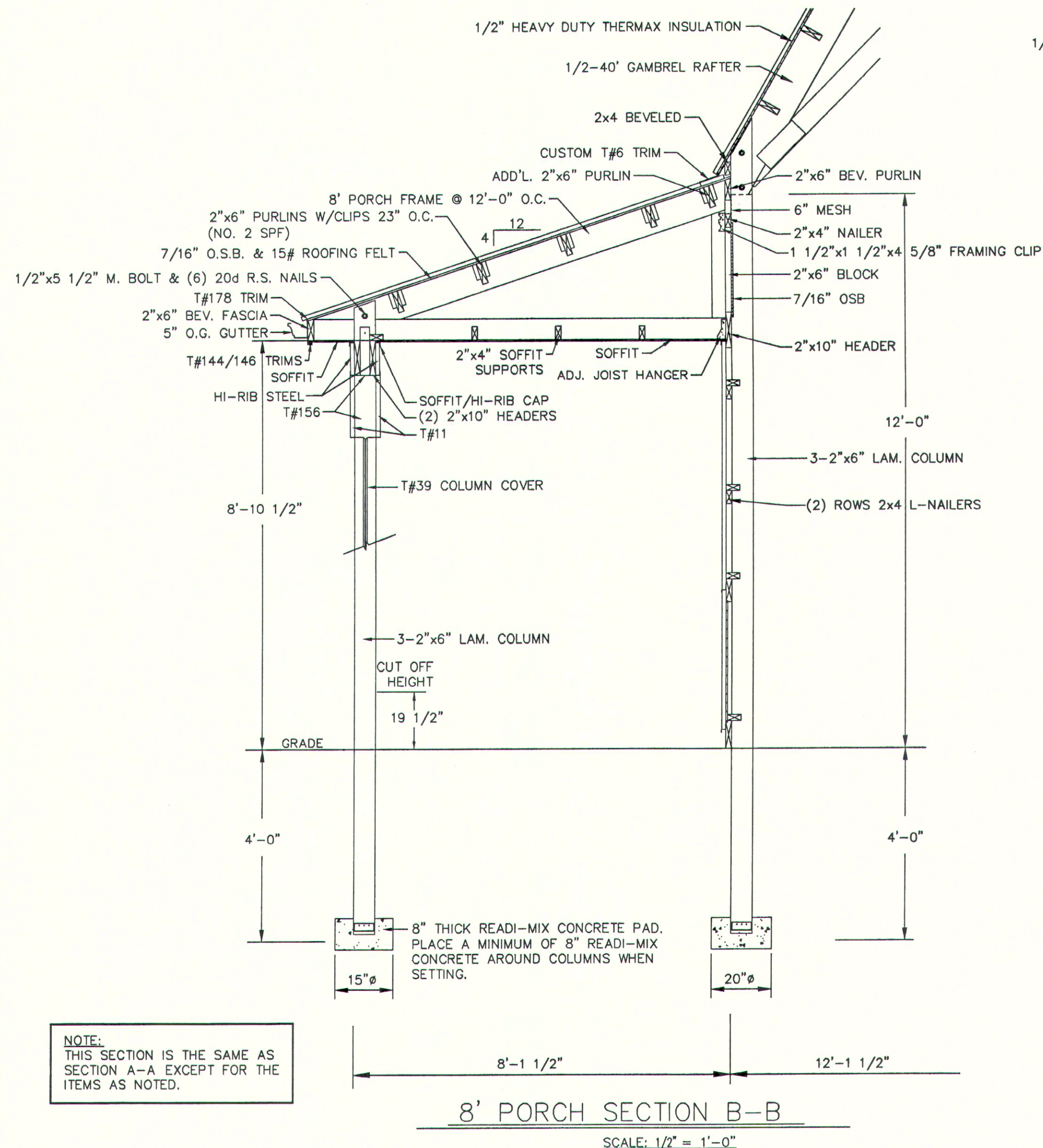
MONCLOVA, OH

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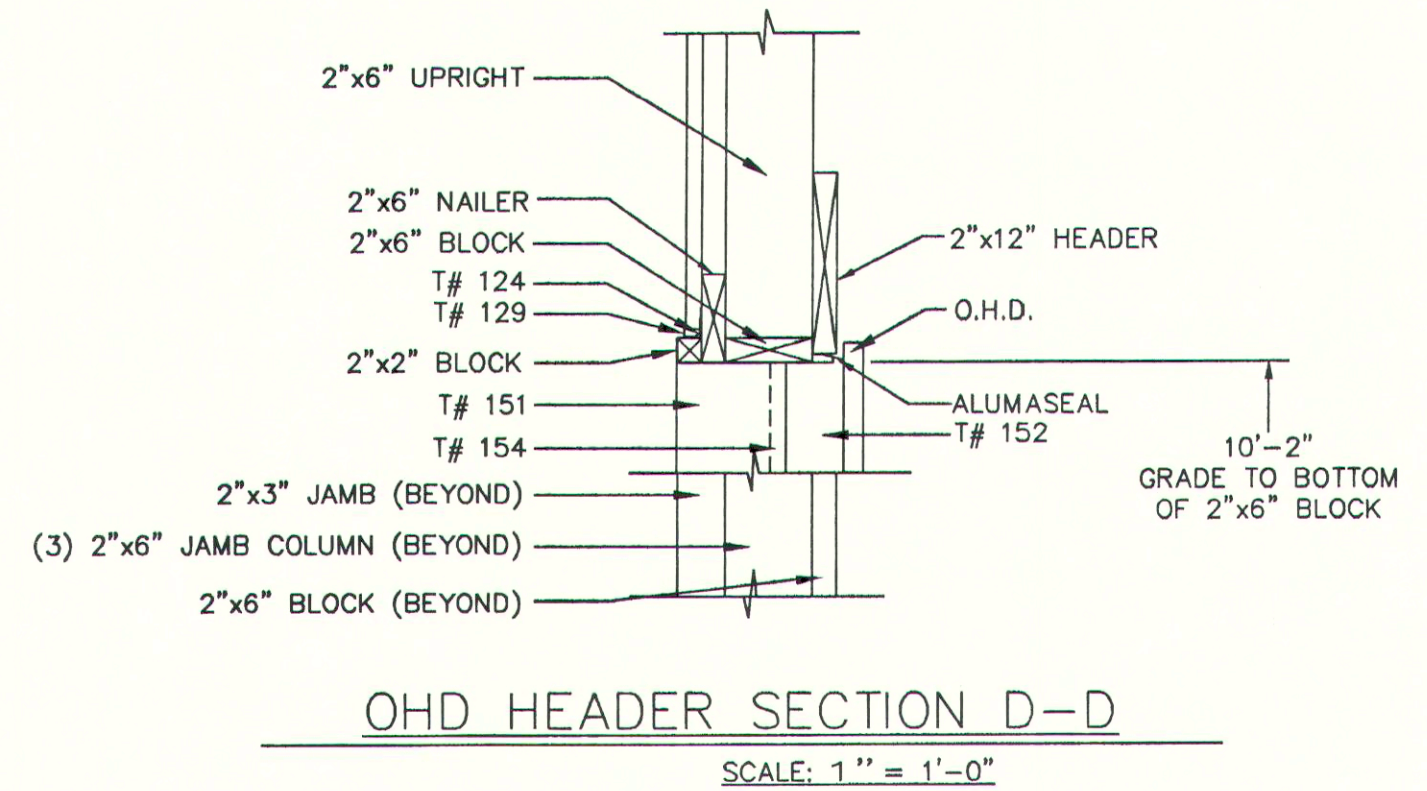
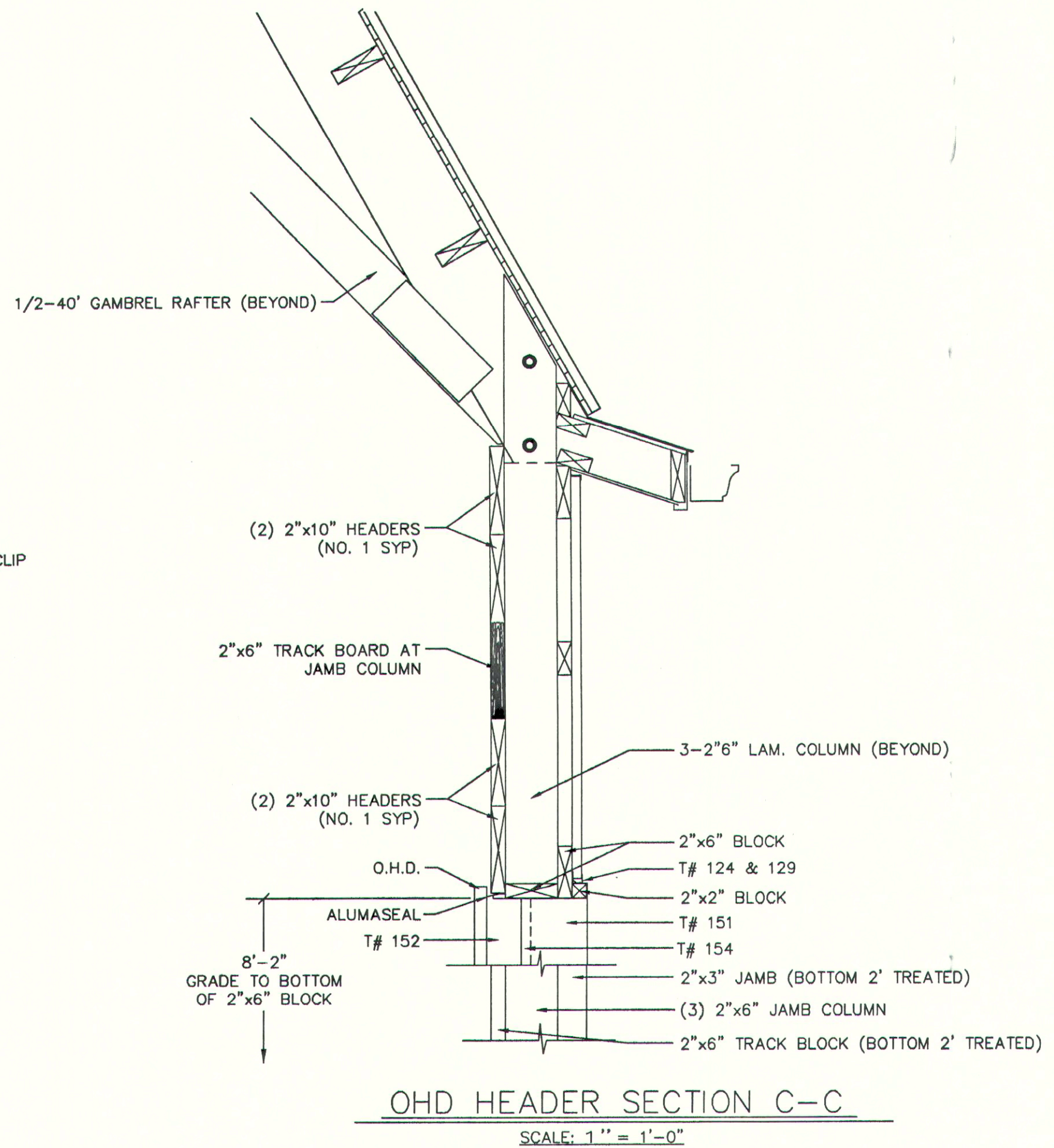
Robert L. Jetter
 4-26-02

SCALE:	AS NOTED
SHEET NO.	4 OF 6



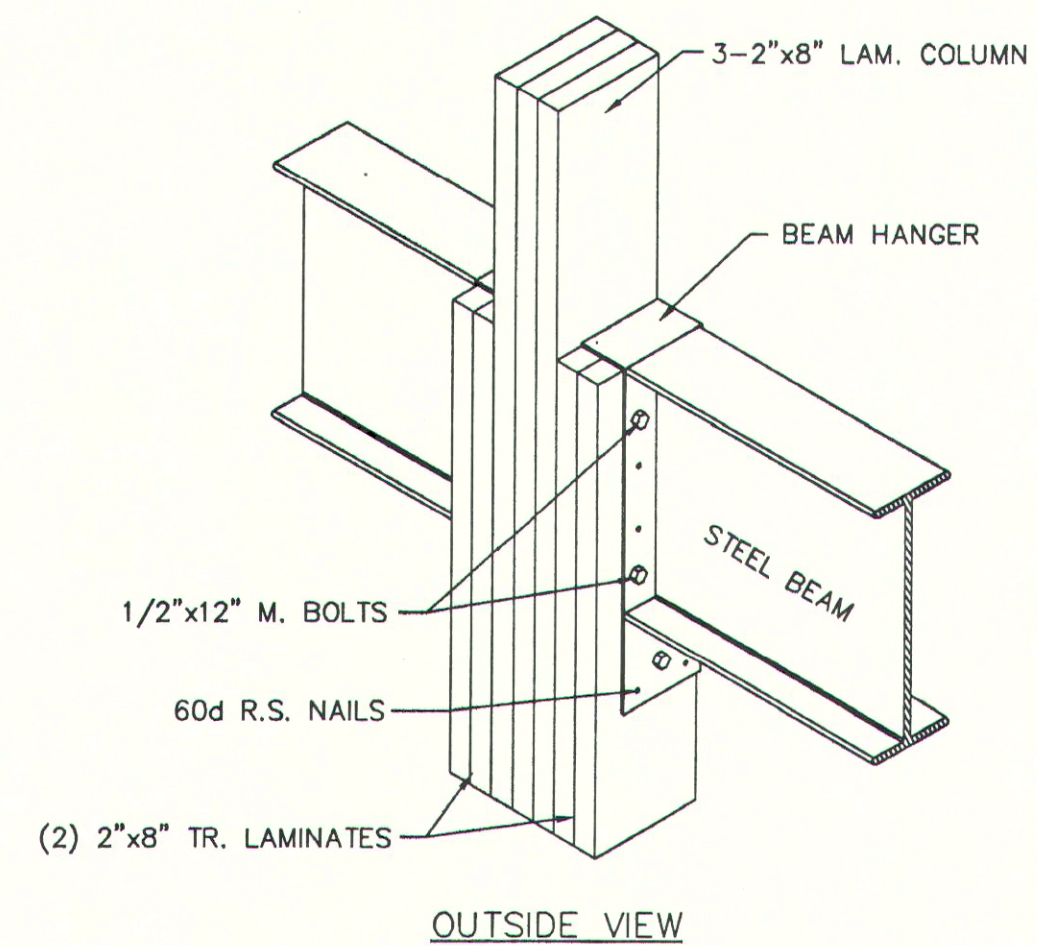
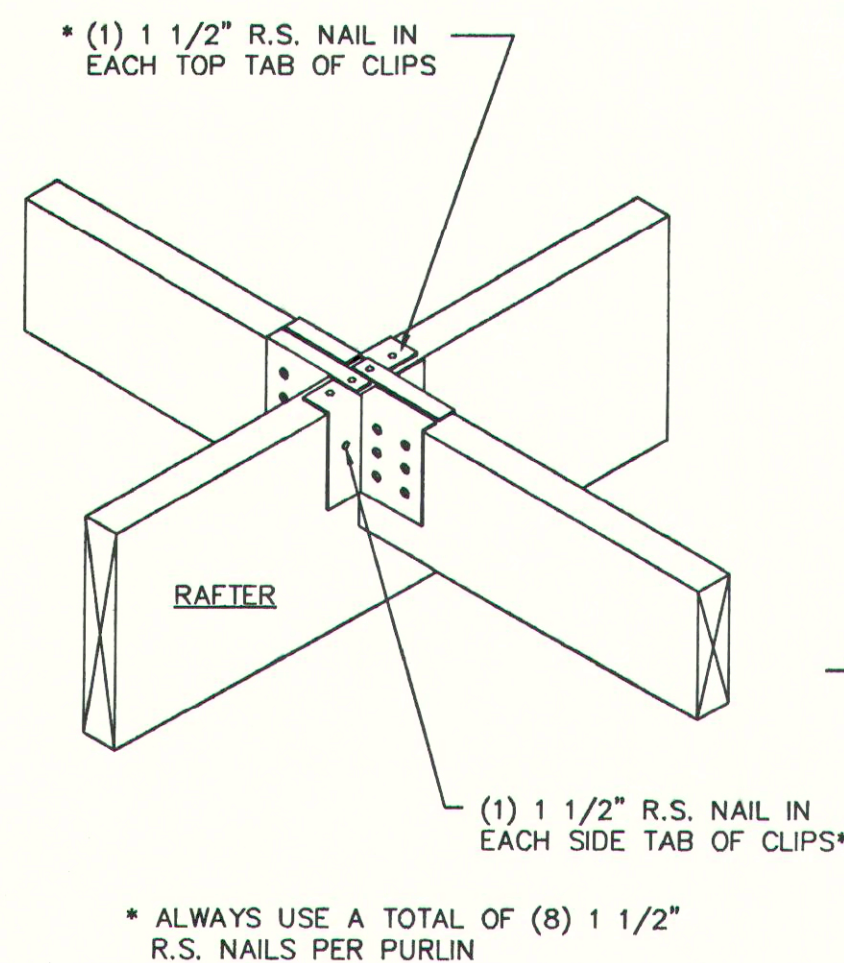
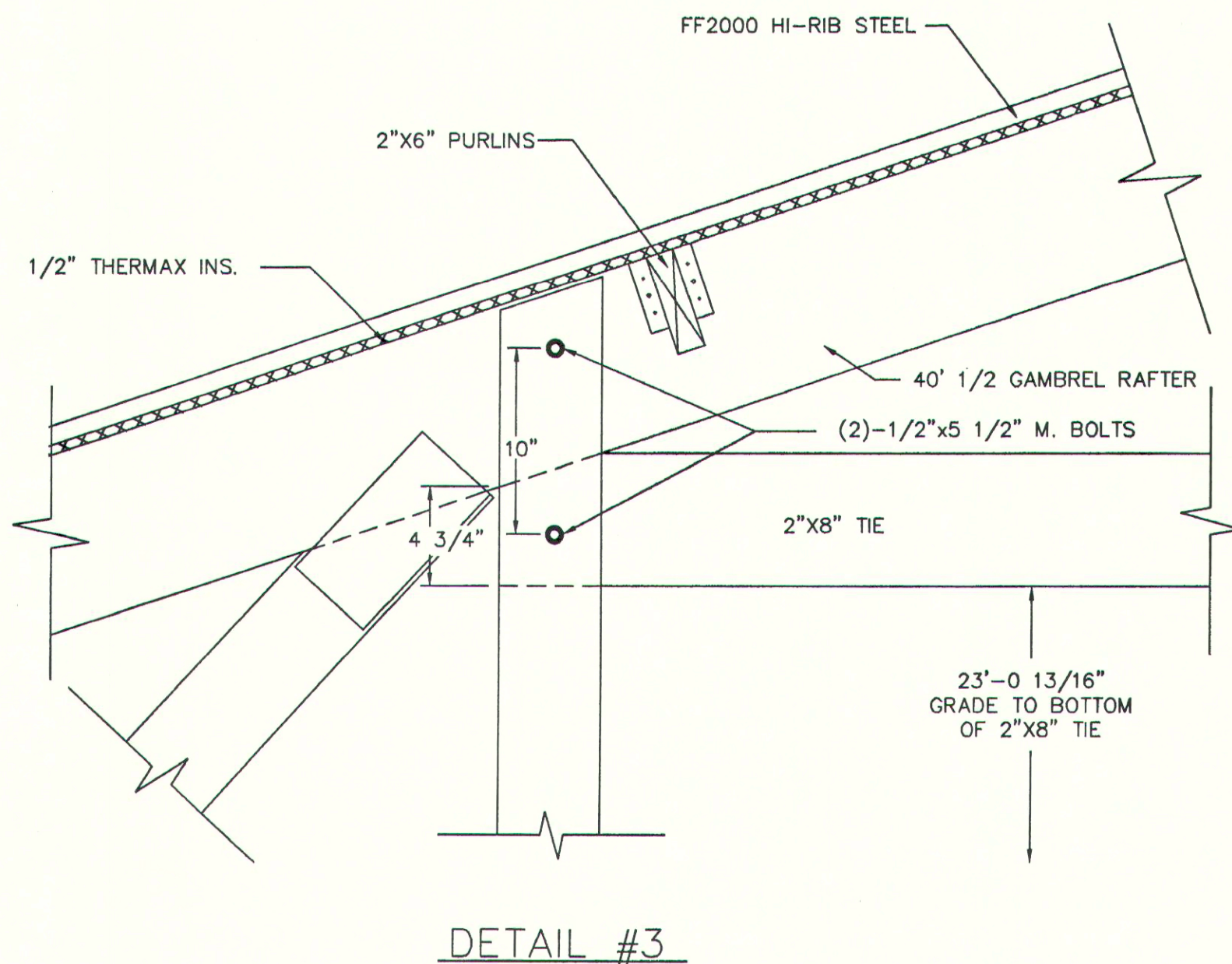
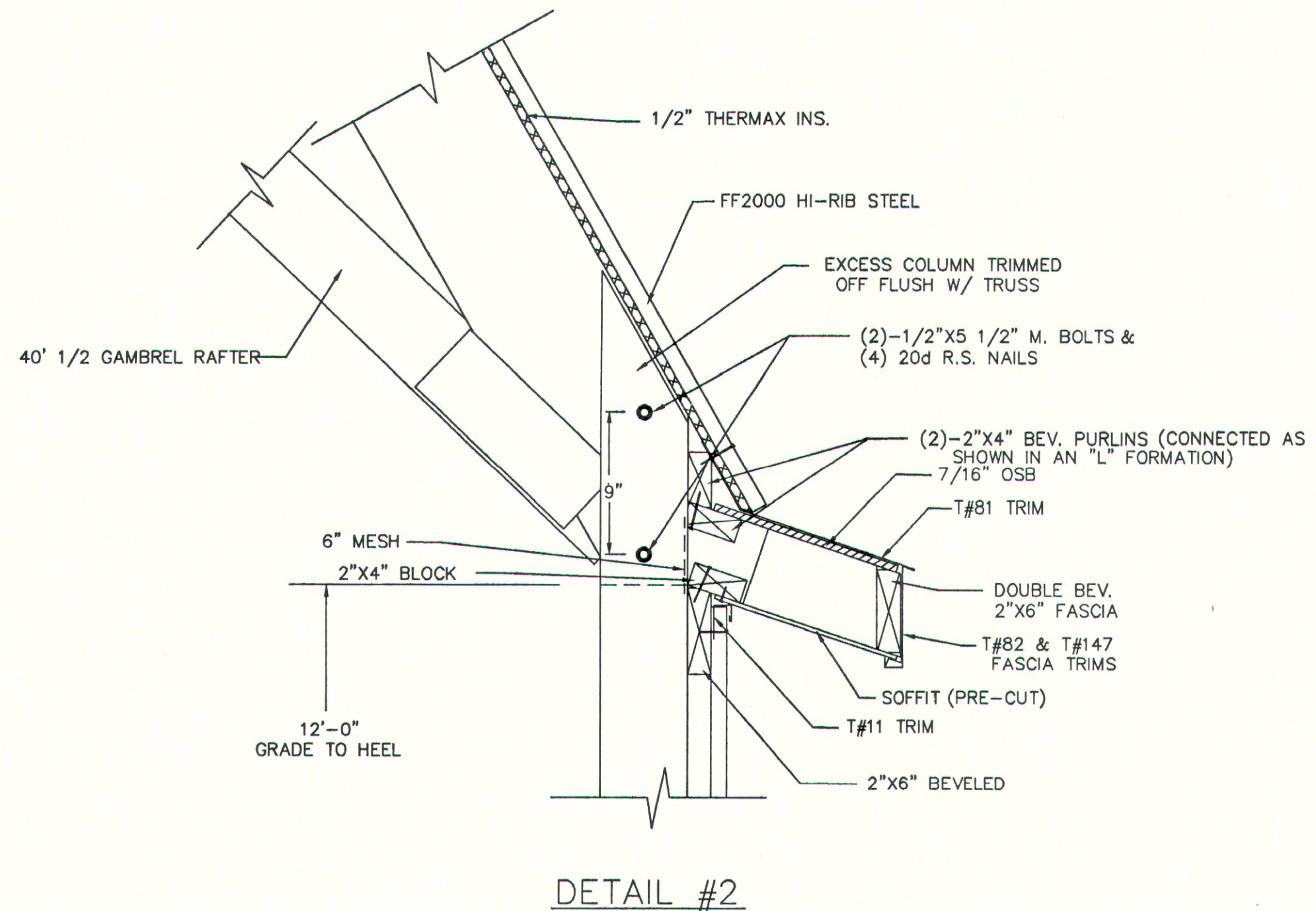
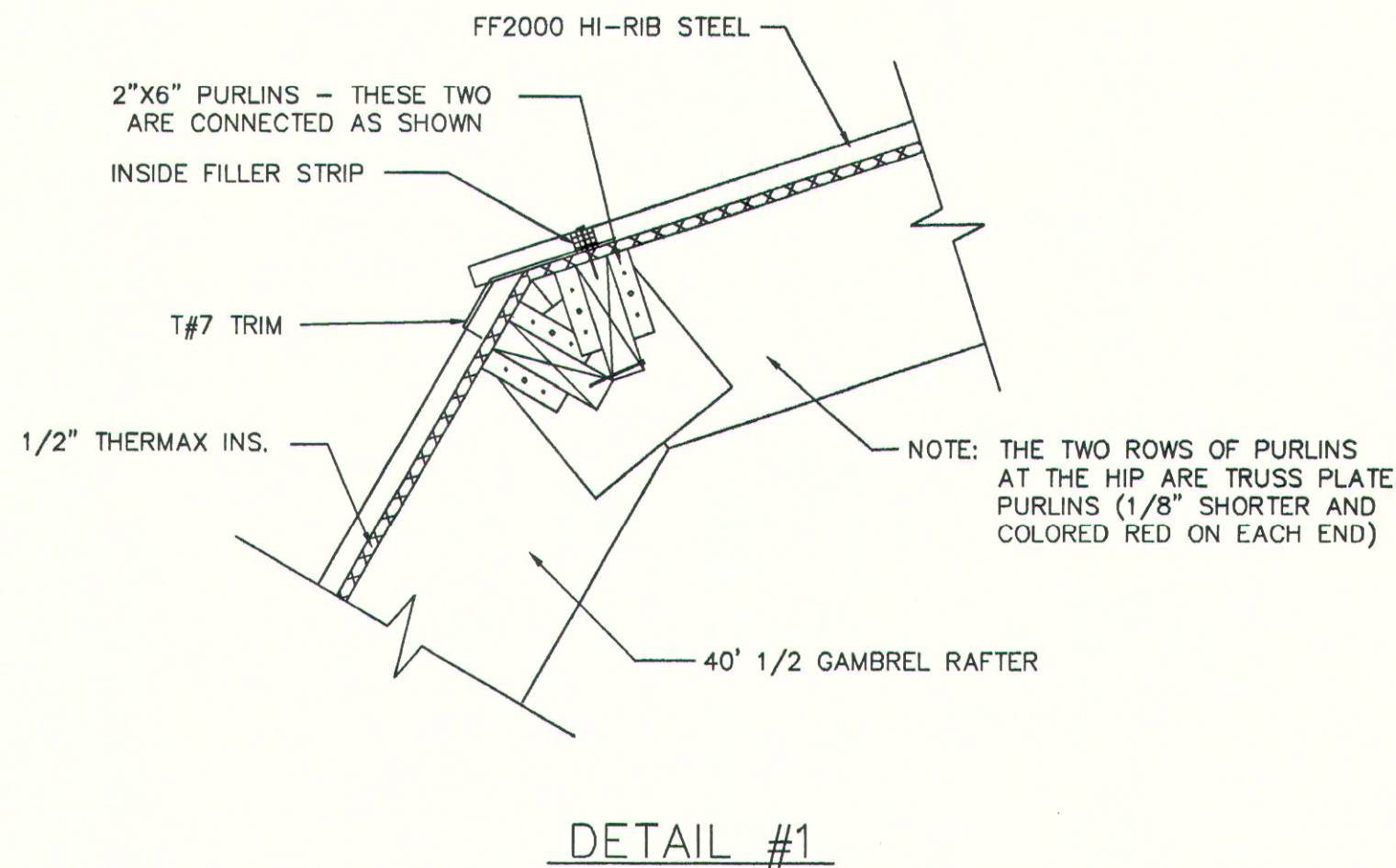


NOTE:
 THIS SECTION IS THE SAME AS SECTION A-A EXCEPT FOR THE ITEMS AS NOTED.



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DATE:	2-20-02
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REVISED DATE:	
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REVISED DATE:	
REVISED DATE:	

Ronald J. Jetter
 4-26-02



DRAWN BY:	EH840
DATE:	2-20-02
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Ronald L. Jetter
 4-26-02